



UPPER UWCHLAN TOWNSHIP  
JOINT BOARDS & COMMISSIONS WORKSHOP (4:00 p.m.),  
CONDITIONAL USE HEARING (5:30 p.m.)

**April 9, 2024**  
**4:00 p.m.**

**AGENDA**

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

Packet Page #

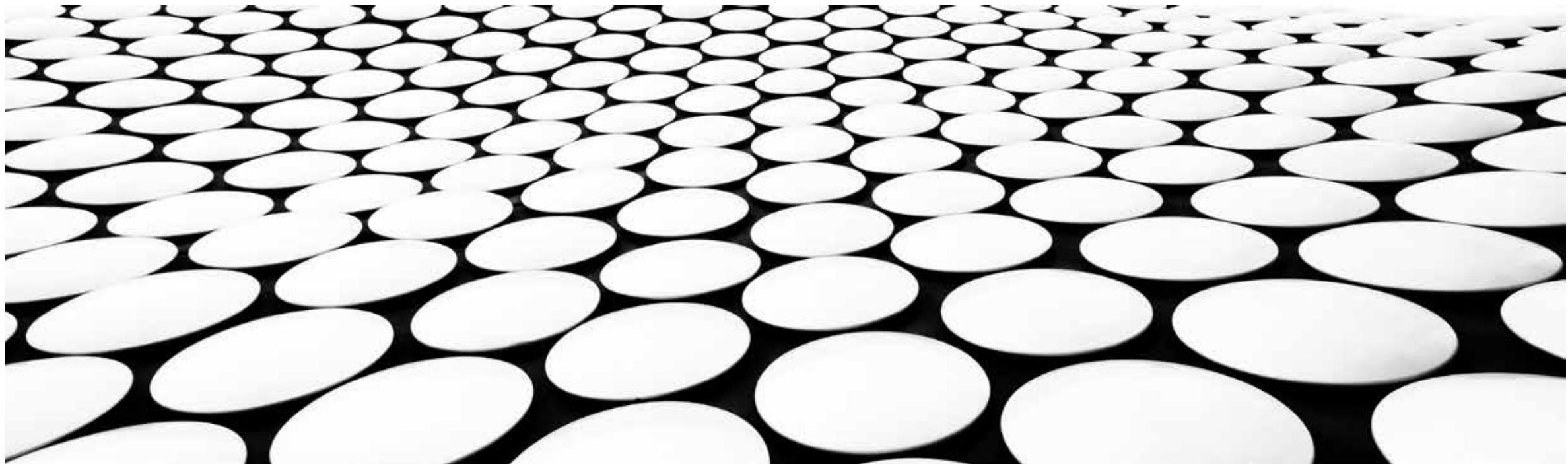
- I. Call to Order
  - A. Salute to the Flag
  - B. Moment of Silence
  - C. Inquire if any Attendee plans to audio or video record the Workshop
- II. Boards & Commissions Updates
  - A. Emergency Management Planning Commission
  - B. Environmental Advisory Council
  - C. Historical Commission
  - D. Municipal Authority
  - E. Park & Rec Board
  - F. Planning Commission
  - G. Technology Advisory Board
  - H. Zoning Hearing Board
- III. DCNR Grant Application Resolution ~ Hickory Park Rehabilitation Project 8
- IV. Public Works Department ~ Gate Project ~ Accept/Approve Proposal 9
- V. Open Session
- VI. Adjournment
- VII. **5:30 p.m. CONDITIONAL USE HEARING: 241 Park Road ~ Planebrook Partners, LLC** 10

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# ACTIVITIES AND INITIATIVES

EMERGENCY MANAGEMENT PLANNING COMMISSION  
(APRIL 2024)



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## EMPC MISSION (PER RESOLUTION #06-19-06-04)

- | Provide the BOS and Township Manager with **advice on all matters pertaining to the delivery of emergency services** (excluding the police).
- | Prepare an **ongoing and long-range planning guide** addressing the needs of the Township as **presently and prospectively developed**.
- | Serve as the **liaison between the Township and emergency service providers (ESPs)**.
- | Assist in the **coordination of contracts with ESPs** and assist in the **distribution of dedicated Township funds**.
- | Prepare, maintain and keep current an **Emergency Operations Plan (EOP)**.
- | Establish, equip and staff an **Emergency Operations Center (EOC)**.
- | Prepare/submit an **annual budget** by November 1 each year.

# EMPC VISION

- | Complete the EMPC's mission in an ethical, trustworthy, **timely** and high-quality manner.
- | Protect UUT residents and our neighbors through hazard identification, prevention and mitigation; community awareness and preparedness; incident response support; incident recovery support; etc.
- | **Plan** ahead, expect the unexpected, and be prepared.
- | Continuous, **360-degree communication**.
- | Support EMPC members to attain their **EM-related** and **personal** goals.
- | Maintain a sense of **trust and teamwork** with the BOS, Township Manager, the community, Emergency Service Providers, Emergency Management Neighbors (e.g., the DES, Park, other EMCs, etc.), and each other.
- | Learn about emergency management via a wide variety of informational mechanisms.

# EMPC COMMITTEE TEAMS

- | COMMUNITY AWARENESS AND PREPAREDNESS – JAMIE GONCHAROFF, JEFF CHURCHVARA, JULIE HEARN-NICELY, JEFF BENACH, CHIEF JONES
  - | HOA INITIATIVES
  - | COMMUNITY ACTIVITIES
  - | SOCIAL MEDIA
- | EMERGENCY SERVICES – KEVIN COOK, CHIEF JONES, TONY SCHEIVERT, JEFF BENACH
  - | COMPENSATION REVIEW
  - | SATELLITE FACILITIES
  - | EMERGENCY SERVICES STUDY
  - | EMERGENCY SERVICE PROVIDERS COORDINATION
- | FLOODING CONCERNs – CATHY TOMLINSON, CHIEF JONES, MIKE ESTERLIS
- | PIPELINES – STEVEN HIRSH, CHIEF JONES
  - | CHESTER COUNTY PIPELINE SAFETY ADVISORY BOARD – BYRON NICKERSON (CHAIR, HEALTH & SAFETY COMMITTEE)
  - | HEALTH & SAFETY REVIEWS (PIPELINE EOP, EMERGING ISSUES, ETC.)
- | EMERGENCY OPERATIONS CENTER TECHNOLOGY – SCOTT NICELY, KEVIN COOK
- | ACTION PLANS REVIEWS AND UPDATES - STEVEN HIRSH, JAMIE GONCHAROFF, CHIEF JONES
- | EMPC TRAILER – ALL EMPC MEMBERS, JEFF BENACH, MIKE ESTERLIS

# WE'VE BEEN BUSY

- P COMMUNITY AWARENESS AND PREPAREDNESS
- P EMERGENCY OPERATIONS CENTER (EOC) PREPAREDNESS
  - P ALTERNATE EOC PLANNING
- P ROUTINE MEETINGS WITH EMERGENCY SERVICE PROVIDERS (2<sup>ND</sup> ANNUAL ESP ROUNDTABLE, ESP SITE VISITS)
- P PIPELINE EOP REVIEW
- P HEALTH & SAFETY REVIEW OF PLANNED "HYDROGEN HUBS"
- P NETWORKING WITH NEIGHBORING TOWNSHIP EMCs
- P EMPC/TOWNSHIP VOLUNTEER RECRUITING
- P LOCAL COMMUNITY TRAINING OFFERINGS
  - P MODIFIED CERT (COMMUNITY EMERGENCY RESPONSE TEAM)
  - P FIRST AID/CPR/AED
- P INCIDENT MITIGATION (FLOODING, ETC.)
- P EMERGENCY RESPONSE & RECOVERY TRAILER

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## QUESTIONS, COMMENTS, SUGGESTIONS



**DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES**  
**Hickory Park Rehabilitation Project**

**RESOLUTION # 04-09-24-06**

WHEREAS, Upper Uwchlan Township (“Applicant”) desires to undertake the following project; Hickory Park Rehabilitation Project; and

WHEREAS the Applicant desires to apply to the Department of Conservation and Natural Resources (“Department”) for a grant for the purpose of carrying out this project; and

WHEREAS, the application package includes a document entitled “Terms and Conditions of Grant” and a document entitled “Signature Page for Grant Application and Grant Agreement” and

WHEREAS, the Applicant understands that the contents of the document entitled “Terms and Conditions of Grant,” including appendices referred to therein, will become the terms and conditions of a Grant Agreement between the Applicant and the Department if the Applicant is awarded a grant; and

WHEREAS, the Applicant understands that, by signing the “Signature Page for Grant Application and Grant Agreement” and submitting it to the Department as part of the grant application, the Applicant agrees to the terms and conditions of the grant and will be bound by the Grant Agreement if the Department awards a grant;

NOW THEREFORE, it is resolved that;

1. The official with the title of Township Manager is authorized to sign the “Signature Page for Grant Application and Grant Agreement” on behalf of the Applicant.

2. If this official signed the “Signature Page for Grant application and Grant Agreement” prior to the passage of this Resolution, this grant of authority applies retroactively to the date of signing.

3. If the Applicant is awarded a grant, the “Signature Page for Grant Application and Grant Agreement” signed by the above official, will become the Applicant/Grantee’s executed signature page for the Grant Agreement, and the Applicant/Grantee will be bound by the Grant Agreement.

I hereby certify that this Resolution was adopted by the Board of Supervisors on this 9<sup>th</sup> day of April, 2024.

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Gwen A. Jonik,  
Township Secretary

ATTEST:

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Pro Max COSTARS No. 008-E23-1150

## Proposal

2621 Centre Avenue, Reading, PA 19605  
Phone: 610-685-4300 - Ext 117 ~ [timk@promaxfence.com](mailto:timk@promaxfence.com)

To: Upper Uwchlan  
132 Oscar Way Chester Springs

Proposal # 232373

Date: April 1, 2024

Project: Automate Existing Gates

Ph:  
Email:

We respectfully submit our quotation for the following:

Install Two Gate Operators	\$19,392.00
-Includes two LiftMaster CSL24UL gate operators	
-Includes UL325 compliant photo eyes and edge kits	
-Includes vehicle detection	
-Includes (8) new nylon gate rollers with UL covers	
-Includes (15) remote openers	
<b>Excludes excavation, conduit and wire for operator power</b>	

*In an effort to minimize price increases due to market volatility Pro Max Fence will require the following*

- Maximum 2 week turnaround on submittals from date they are received by contractor
- Pro Max will be permitted to invoice for stored material

Payment Schedule: Net 30 Days

Total Cost: \_\_\_\_\_

**Note: Due to the current volatility of certain materials  
this proposal may be withdrawn after 14 days and  
may be subject to escalation costs.**

Authorized Signature: \_\_\_\_\_  
Timothy P Kearns  
Pro Max Fence Systems, LLC.  
[timk@promaxfence.com](mailto:timk@promaxfence.com)

ACCEPTANCE OF PROPOSAL - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above or account will be subject to late fees at 18% per annum.

Acceptance Date: \_\_\_\_\_

Authorized Signature: \_\_\_\_\_  
(Customer)

**Permits:** Customer assumes full responsibility for obtaining any permits or legal permission for construction of fence. **Property lines:** Customer assumes full responsibility for marking any existing underground wires, pipes, and cables. Customer is also responsible for property locating and marking any property lines or boundaries which may be involved in construction of fence. **Guarantee:** Pro Max Fence Systems, LLC backs its workmanship and fully guarantees it for a period of one year. This guarantee is subject to exception in cases of damage due to willful destruction, accidental destruction, or acts of nature. **Digging Clause:** Quotation is based upon digging earth. Rock and buried concrete will be charged at an extra cost. **This contract is legal and binding upon receipt of customer's signature.**



UPPER UWCHLAN TOWNSHIP  
140 Pottstown Pike  
Chester Springs, PA 19425  
610-458-9400 Fax 610-458-0307

CONDITIONAL USE APPLICATION

3204 0037 0000

Tax Parcel Number: 3204 0038 0800 Date: \_\_\_\_\_  
Name of Applicant: Planebrook Partners, LLC, Attention: Scott Risbon, Managing Partner  
Address: c/o 114 East Lancaster Avenue, 2nd Floor, Downingtown, PA 19335  
Telephone: 610 637 1975 Email: scottrisbon@earthcareinc.org

Owner of Parcel: 241 Park Avenue, LLC

Address / Location of Parcel: 32-4-37: 241 Park Road; 32-4-38.8: 235 Park Road

Zoning District: C1 Existing Use: Parcel # 32-4-37 contains 1 existing single-family dwelling

Article / Section Authorizing Conditional Use: Article VIII, C-1 Village District, Section 200-33.B(3) Day-care center

Description of Proposed Conditional Use: Consolidation of the two parcels. Demolition of existing single-family dwelling & outbuildings. Proposed construction of a 6,000 sf, two story daycare facility (total gross floor area of 12,000 sf) with a play area (approx. 3,000 sf), parking and associated stormwater management. Public sewer and water are proposed.

This Application shall be accompanied by:

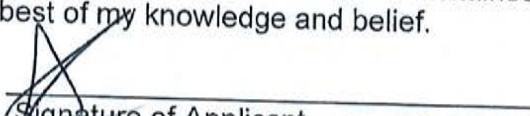
1. A fee of \$500.00 for Non-Commercial or \$1,000.00 for Commercial/Industrial;
2. Four (4) printed copies and an electronic copy of:
  - parcel plot plans (half of which can be of reduced size, i.e. 11 x 17)
3. Three (3) printed copies and an electronic copy of:
  - impact statements (if applicable pursuant to the Township's Zoning Ordinance §200-83),
  - and any other information pursuant to Zoning Ordinance §200-116, §200-117 (Conditional Uses, Conditional Use Standards).

• The Applicant will be responsible for reimbursing the Township for Consultants' Fees and Legal Fees, and if additional Hearings are necessary, a Fee will be charged for each Additional Hearing:  
Non-Commercial \$250.00/Hearing; Commercial/Industrial \$500.00/Hearing

I hereby depose and say that all of the above statements, and the statements contained in any papers submitted herewith, are true to the best of my knowledge and belief.

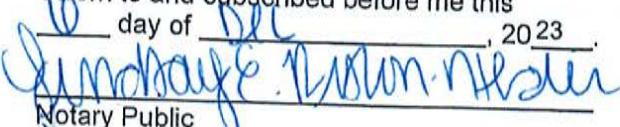
Scott Risbon, Managing Partner  
Planebrook Partners, LLC

Printed Name of Applicant

  
Signature of Applicant

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF CHESTER

Sworn to and subscribed before me this  
10 day of Dec, 2023

  
Notary Public

Commonwealth of Pennsylvania - Notary Seal  
Lindsay E. Risbon-Herbein, Notary Public  
Chester County  
My commission expires October 23, 2025  
Commission number 1322329  
Member, Pennsylvania Association of Notaries

**CONDITIONAL USE IMPACT STATEMENT  
FOR  
241 PARK ROAD  
December 4, 2023**

Client Name:	Planebrook Partners, LLC
Property:	3204 0037 0000 located at 241 Park Road 3204 0038 0800 located at 235 Park Road
Zoning District:	C1 Village District
Nature of Development:	Daycare Facility
Combined Gross Acreage:	0.819 +/- acres
Current Sewer/Water Service:	On lot water and sewer unused by vacant house.
Proposed Sewer/Water Service:	Public Water & Public Sewer

The property consists of two parcels:

- (a) 235 Park Road, which is more fully described as Chester County UPI No. 32-4-38.8 is undeveloped. The rear of the property abuts the Federal Express facility on Ticonderoga Blvd.; and
- (b) 241 Park Road, which is more fully described as Chester County UPI No. 32-4-37, which is developed with single-family dwelling and outbuilding, which have been unused for years.

Planebrook Partners, LLC plans to combine two parcels totaling 3.393 acres (gross) (together, the "Property") and construct a two-story, 6,000 sf (12,000 total gross floor area) daycare facility, access drive from Park Road, play area (approximately 3,000 sf), parking lot and associated stormwater management infrastructure.

The facility will operate Monday through Friday during normal business hours with an anticipated capacity of 120-125 children and 20 employees.

The proposed project is permitted with Conditional Use Approval per Section 200-33.B(3) of the Upper Uwchlan Township Zoning Ordinance. The applicant is also pursuing a modification of parking requirements pursuant to the Township Zoning Ordinance Section 200-73.K. As a daycare facility is a permitted use, it is not contrary to public health safety or welfare.

External access locations and interior traffic circulation will be designed in accordance the Township ordinance to allow adequate and safe use by the users as well as compliance for use of emergency vehicles.

Approval from Aqua Pennsylvania for firefighting purposes and water use by the facility will be obtained, as well as sewer approvals from the Township.

Sidewalk is proposed along Park Road to improve pedestrian traffic and access.

The landscaping and lighting will be designed per the Township Ordinance. The adjoining properties include a Federal Express Depot (abutting the project parcels on two sides), the Windsor Baptist Church/Windsor Christian Academy with recreation area, across from the project area, which contains

both school and church buildings and a dentist office across Ticonderoga Road, therefore noise would not be a factor for the proposed daycare facility.

**EH CREATIVE SERVICES LLC**  
16 MANOR ROAD  
PAOLI, PA 19301  
610.322.7154  
[erik@erikhetzel.com](mailto:erik@erikhetzel.com)

## Memorandum

To: Victor Kelly Jr., PE

From: Erik Hetzel, AICP/PP, LEED AP

Date: November 15, 2023

Re: Fiscal Impact Analysis – Proposed Daycare Facility, 241 Park Road

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Planebrook Partners, LLC is proposing to construct a 12,000-square-foot daycare facility on the property located at 241 Park Road in Upper Uwchlan Township, Chester County, Pennsylvania. Along with site improvements that will generate additional real estate tax revenue for the Township, the applicant expects to create approximately 18 jobs at the site. It is projected that the proposed development will result in beneficial, net-positive annual fiscal impacts to both Upper Uwchlan Township and the Downingtown Area School District, as described in Table 1.

**Table 1**  
**Summary of Annual Fiscal Impacts**

	Tax Revenues	Expenditures	Net Fiscal Impact
Upper Uwchlan Township	\$2,050	(\$1,784)	\$266
Downingtown Area School District	\$37,961	\$0	\$37,961
<b>TOTAL</b>	<b>\$40,011</b>	<b>(\$1,784)</b>	<b>\$38,227</b>

Fiscal impacts presented in this analysis were estimated using a methodology developed by the Rutgers University Center for Urban Policy Research, as originally described in The New Practitioner's Guide to Fiscal Analysis<sup>1</sup> and further developed in a

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<sup>1</sup> Burchell, Robert W., David Listokin, et al. *The New Practitioner's Guide to Fiscal Impact Analysis*, New Brunswick, NJ: Rutgers, The State University of New Jersey, 1985.

later publication by the same authors entitled Development Impact Assessment Handbook<sup>2</sup>.

### **Revenue Impacts**

**Real Estate Property Tax** - At project completion, the portion of the building dedicated to the proposed use will have a total market value of approximately \$3.5 million, which translates to an assessed value of approximately \$1,258,993. This assessment calculation is based on the current (2023-2024) Chester County common-level ratio of 2.78, which estimates assessed value at approximately 35.97% of market value. The Township levies the real estate tax at the rate of 1.034 mills, which will generate approximately \$1,302 annually to the Township. The School District millage rate is currently 29.558 mills, which applied the assessment describe above, will generate approximately \$37,213 in real estate taxes to the School District annually.

**Earned Income Tax (EIT) Revenues** – Workers who reside in Upper Uwchlan Township pay the EIT at the rate of 1.0%, with 0.5% going to each the Township and School District. The EIT is also levied at the rate of 1.0% on non-residents who do not pay the EIT in their home jurisdictions with the full amount of the tax going only to the Township. The applicant estimates that the proposed use will create 18 jobs at this location with an estimated mean annual wage of \$29,920 per employee<sup>3</sup>. We cannot project where these employees will reside, nor whether they will be paying the EIT to their home jurisdictions. Hence, we conservatively assume that 25% of the workers (or, 5 of the total 18 workers) will be eligible to pay the EIT as Township residents. Under the foregoing assumptions, the EIT will generate revenues totaling \$748 to the Township and \$748 to the School District.

### **Regional Economic Impacts**

The proposed development will have a beneficial economic “ripple effect” in the local economy, as the new employees use goods and services in and around Upper Uwchlan Township. In addition, the building improvements will provide construction jobs and result in construction-related consumption expenditures in the local and

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<sup>2</sup> Burchell, Robert W., David Listokin, et al. *Development Impact Assessment Handbook*. Washington, D.C.: ULI-the Urban Land Institute, 1994.

<sup>3</sup> Occupation title “Childcare Workers” from U.S. Bureau of Labor Statistics, *Occupational Employment and Wage Statistics, May 2022 Metropolitan and Nonmetropolitan Area Occupational Employment and Wage Estimates, Philadelphia-Camden-Wilmington, PA-NJ-DE-MD*  
[https://www.bls.gov/oes/current/oes\\_37980.htm#39-0000](https://www.bls.gov/oes/current/oes_37980.htm#39-0000)

regional economies. These impacts are not reflected in the summary table included in this memorandum but will provide economic benefits over and above the annual revenues described therein.

### **Cost Analysis**

Annual Township and School District expenditures attributable to the proposed development were projected using the Per Capita Multiplier Method described in the Development Impact Assessment Handbook. In calculating the per capita expenditure value for the Township, the methodology uses information from the current (2023) Township budget and accounts for the fact that costs are divided differently among serving both residential and non-residential portions of the Township, based on the actual mix of land uses provided by the County Board of Assessment. This analysis estimates annual per capita costs at \$99.11 per employee. Overall, it is estimated that the proposed development will result in Township costs totaling approximately \$1,784 annually, which is essentially offset by revenues totaling \$2,050 annually from the tax sources described previously.

The proposed development of this non-residential use will not generate any school-aged children and hence, will not result in additional costs for the School District.

### **Conclusions and Summary**

In conclusion, the net positive fiscal impact in terms of projected revenues over costs for Upper Uwchlan Township is expected to be over \$260 annually at project completion, essentially paying for itself in terms of Township services. The projected net positive fiscal impact on the Downingtown Area School District is projected to be more significant at over \$37,000 per year. The combined net positive fiscal impact for both taxing authorities is estimated at over \$38,000 annually. Table 2 on the next page summarizes the project details and fiscal impacts to the Township and School District.

**Table 2**  
**Summary of Project Details and Fiscal Impacts**

<b>Project Details - 241 Park Road Daycare Facility</b>	
Non-Residential Square Feet	12,000
Market Value of Proposed Development	\$3,500,000
Assessed Value (approx. 35.97% of market value)	\$1,258,993
New Residential Population	0
New School-Aged Children	0
New Employees	18
Annual Wages per Employee	\$29,920
<b>Upper Uwchlan Township Fiscal Impacts</b>	
Real Estate Tax Revenue (1.034 mills)	\$ 1,302
Earned Income Tax Revenue (0.5%)	\$ 748
Total Township Revenues	\$ 2,050
Total Township Expenditures	\$ (1,784)
<b>Net Township Fiscal Impact</b>	<b>\$ 266</b>
<b>Downingtown Area School District Fiscal Impacts</b>	
Real Estate Tax Revenue (29.558 mills)	\$ 37,213
Earned Income Tax Revenue (0.5%)	\$ 748
Total School District Revenues	\$ 37,961
Total School District Expenditures	\$ -
<b>Net School District Fiscal Impact</b>	<b>\$ 37,961</b>
<b>Total Development-Generated Revenues (Township + School District)</b>	<b>\$ 40,011</b>
<b>Total Development-Generated Expenditures (Township + School District)</b>	<b>\$ (1,784)</b>
<b>Total Net Annual Fiscal Impact (Township + School District)</b>	<b>\$ 38,227</b>

## Erik W. Hetzel, AICP/PP, LEED AP

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### **Education**

1993: B.A. Geography and Planning,  
West Chester University

2000: Master of Regional Planning,  
University of Pennsylvania

### **Professional Certifications**

American Institute of Certified Planners  
Professional Planner, State of New Jersey (License No. 33LI00621700)

### **Professional Affiliations**

American Planning Association  
Pennsylvania Planning Association

Mr. Hetzel provides professional consulting services to public and private sector clients seeking a wide range of land planning expertise. He has a diverse background in geography, land planning, community/fiscal/environmental impact analysis, technical management, project management, and in the application of geospatial technologies to planning and engineering projects. He has been qualified as an expert to testify before numerous municipal zoning, planning, and elected boards and commissions; prepared community fiscal and environmental impact analyses; coordinated the development and adoption of local and multi-municipal comprehensive plans; applied land planning and fiscal analysis expertise to complex tax appeal assessment cases; analyzed and drafted zoning ordinances; and managed the preparation of site designs and site plans. He maintains a high proficiency using Geographic Information Systems (GIS) for mapping projects and land planning analyses.

Mr. Hetzel's professional experience spans more than twenty-five years working at principal and senior-level positions in private-sector and non-profit organizations. In 2014, Mr. Hetzel established EH Creative Services, a professional land planning consulting practice. Previously, he spent eleven years working at Glackin Thomas Panzak Inc., a privately-owned land planning and landscape architecture firm in Paoli, PA. Before that, he held a position at Environmental Systems Research Institute (ESRI), where he used his extensive GIS and planning experience leading enterprise GIS solutions for county and local governments. Prior to his tenure at ESRI, Mr. Hetzel spent twelve years at Weston Solutions, Inc. as a Technical Manager, working on projects that ranged from planning and engineering consulting for municipal governments, to complex environmental analyses and assessments on large projects of regional scope.

Mr. Hetzel resides in Paoli, Pennsylvania, and has served on numerous municipal boards and commissions. He currently serves on the Open Space Review Board in Willistown Township. He is a past member of the East Whiteland Township Planning Commission, where he served as Chairman for three years. In that role, he was the liaison between the Township Environmental Advisory Council and the township's Planning Commission. Mr. Hetzel has also served on the West Whiteland Township Planning Commission and spent two years as West Whiteland's delegate to the West Chester Regional Planning Commission.



**HEINRICH & KLEIN  
ASSOCIATES, INC.**

TRAFFIC ENGINEERING & PLANNING  
1134 Heinrich Lane • Ambler, Pennsylvania 19002  
215-793-4177 • FAX 215-793-4179

**MEMORANDUM**

TO: Victor Kelly, P.E.  
Commonwealth Engineers, Inc.

FROM: Andreas Heinrich, P.E., P.T.O.E.

DATE: November 27, 2023

RE: Trip Generation Analysis  
Proposed Child Day Care Center Canal - Park Road  
Upper Uwchlan Township, Chester County, PA

As requested, please accept the results of this Trip Generation Analysis for a Child Day Care Center proposed along the east side of Park Road in Upper Uwchlan Township, Chester County, Pennsylvania. The site is occupied by a single family detached house. It is my understanding the existing house will be demolished and the site will be developed for a child day care center (12,000 square feet). Access to the site will be provided via a full movement driveway that will intersect Park Road at a point approximately 210 feet south of Ticonderoga Boulevard.

Park Road is a two-way, two-lane local road. Park Road provides one travel lane in each direction. The posted speed limit along Park Road is 35 miles per hour. The frontage of the site is situated within a school zone for the Windsor Christian Preschool & Academy with a 15 MPH flashing beacon.

Based on the size of the proposed building, estimates of new traffic demand can be calculated for the proposed development. The anticipated traffic generation of the proposed child day care center is estimated from trip generation data compiled by the Institute of Transportation Engineers and documented in the publication entitled Trip Generation Manual<sup>(1)</sup>. The Trip Generation Manual is a commonly accepted resource to establish

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(1) Trip Generation Manual, 11<sup>th</sup> Ed., Institute of Transportation Engineers, Washington DC, September, 2021.

Victor Kelly, P.E.  
Commonwealth Engineers, Inc.  
November 27, 2023  
Page 2

traffic generation of various land uses. Table 1 presents the calculated vehicular trip generation rates for the proposed development. Application of these rates to the size of the proposed development produces the daily and peak hourly traffic volumes presented in the bottom of Table 1.

As shown in Table 1, after deducting for pass-by trips, it is anticipated that the proposed child day care center will generate a total of 320 new trips per day (total inbound and outbound). It is anticipated that the proposed child day care center will generate a total of 74 new trips per hour during the weekday morning peak hour and 76 new trips per hour during the weekday afternoon peak hour.

The access driveway will be constructed 24 feet wide to provide one entry lane and one exit lane, with right turn corner radii to accommodate the appropriate design vehicle.

Based on the posted speed limit of 35 miles per hour along Park Road, it is desirable to provide safe sight distance of 440 feet to the left and 350 feet to the right of the access driveway, as measured from a position 10 feet back of the pavement edge along Park Road. Observations reveal that, with proper grading and removal of vegetation along Park Road, there will be adequate sight distance in excess of 450 feet in both directions along Park Road.

If you should have any questions, or wish to discuss these calculations in greater detail, please call me at your convenience.



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Andreas Heinrich, P.E., P.T.O.E.  
Principal

AH:rh

**TABLE 1**

**TRAFFIC GENERATION CHARACTERISTICS  
CHILD DAY CARE CENTER  
UPPER UWCHLAN, CHESTER COUNTY, PENNSYLVANIA**

**TRIP RATES<sup>(1)</sup>**

<u>Description</u>	<u>Daily</u>	<u>Morning Peak Hour</u>			<u>Afternoon Peak Hour</u>		
		<u>In</u>	<u>Out</u>	<u>Total</u>	<u>In</u>	<u>Out</u>	<u>Total</u>
Child Day Care Center (12,000 SF) <sup>(2)</sup>	47.62	5.83	5.17	11.00	5.23	5.89	11.12

**TRAFFIC VOLUMES**

Child Day Care Center (12,000 SF)	572	70	62	132	63	71	134
Pass-by Trips <sup>(3)</sup>	252	29	29	58	29	29	58
TOTAL EXTERNAL TRIPS	320	41	33	74	34	42	76

(1) *Trip Generation Manual, 11th Edition, Institution of Transportation Engineers, Washington, D.C., 2021 (ITE Land Use Code 565).*

(2) *Trips per 1,000 square feet (SF) of floor space.*

(3) *Trip Generation Handbook, 3rd Edition, and supplement, Institution of Transportation Engineers, Washington, D.C., 2017.*



**Ducklings™**  
EARLY LEARNING CENTER

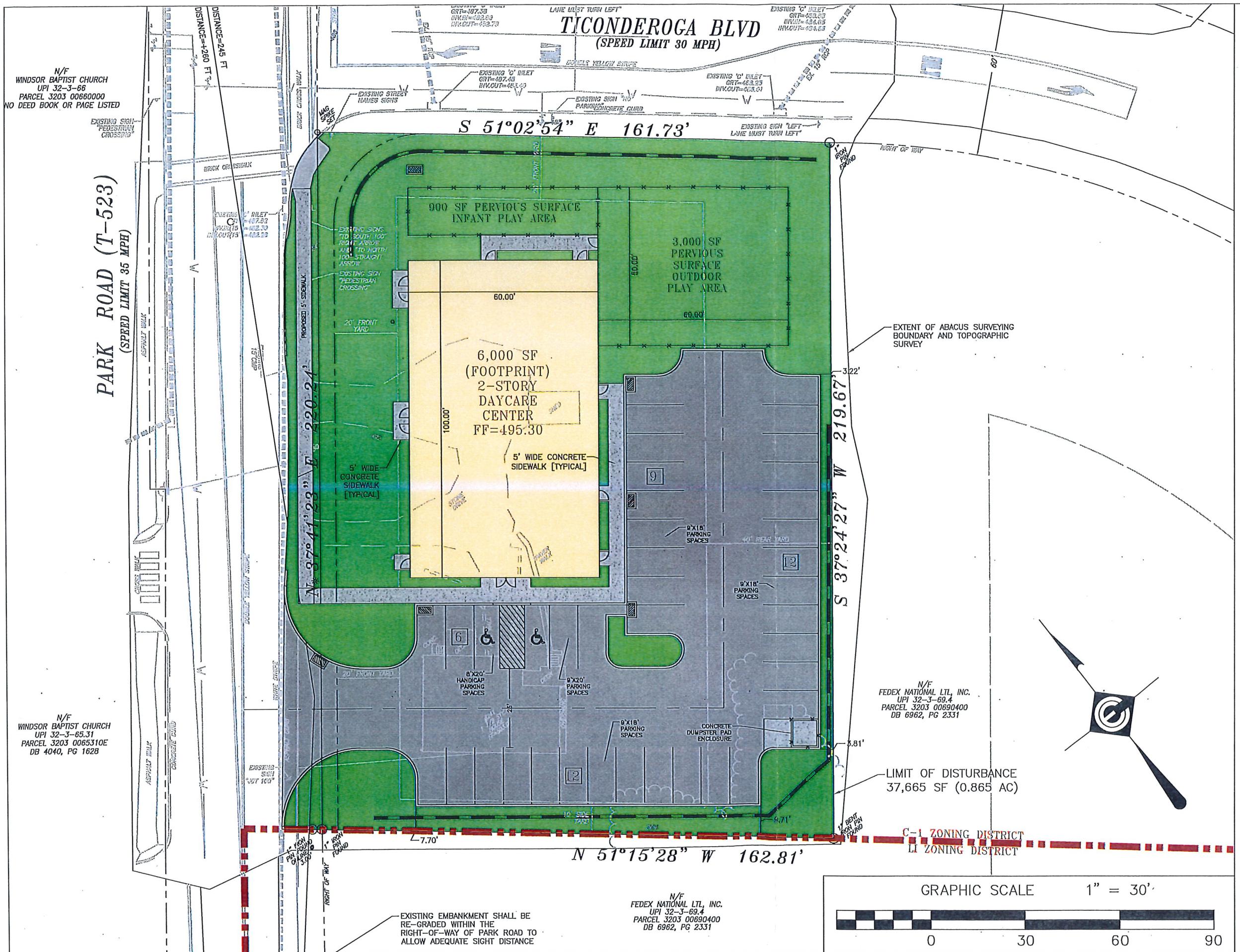
SCHEMATIC  
241 PARK ROAD  
EAGLE, PENNSYLVANIA 19355



COMMONWEALTH ENGINEERS, INC.  
114 EAST LANCASTER AVENUE ~ SECOND FLOOR  
DOWNTOWN, PA 19335  
TELEPHONE: (610) 518-9003 ~ FAX: (610) 518-9004  
COMENG@CEI-1.COM

**SCULL**  
INNOVATIVE + VISIONARY + CREATIVE  
**ARCHITECTURE, LLC**  
www.Scull-Architecture.com

SK-3.2  
December 13, 2023  
SA Project No. 2023.67



*PRESENTATION PLAN  
FOR  
241 PARK ROAD*

COMMONWEALTH ENGINEERS, INC.

114 EAST LANCASTER AVENUE ~ SECOND FLOOR  
DOWNTON, PA 19335  
TELEPHONE: (610) 518-9003 ~ FAX: (610) 518-9004  
COMENG@CEI-1.COM

DATE:	DECEMBER 14, 2023		
SCALE:	AS SHOWN		
SURVEY:	-----		
DRAWN:	MDC		
CHECKED:		VK	
DRAWING NO.		202317-1(C)	
SHEET: 1 OF: 1			





January 5, 2024

File No. 23-12026

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
140 Pottstown Pike  
Chester Springs, PA 19425

Reference: 241 Park Road  
Preliminary Land Development Review  
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents prepared by Commonwealth Engineers, Inc. unless stated otherwise:

- Letter of Transmittal for 241 Park Road Conditional Use Submission to Upper Uwchlan Township dated December 7, 2023;
- Letter of Transmittal for 241 Park Road Subdivision/Land Development Submission to Upper Uwchlan Township (undated);
- "Erosion Control Plan Narrative Prepared for 241 Park Road" dated December 4, 2023;
- GIS Map dated August 16, 2023;
- "Post Construction Stormwater Management Plan Narrative prepared for 241 Park Road" dated December 4, 2023;
- "241 Park Road Sewage Facilities Planning Module Application Mailer for Public Sewer" dated December 4, 2023;
- Preliminary/Final Land Development Plans consisting of twelve (12) sheets titled "241 Park Road" dated December 4, 2023;
- Plan sheet titled "Post Development Drainage Area Plan" dated December 4, 2023;

Reference: 241 Park Road

Preliminary Land Development Review

Upper Uwchlan Township, Chester County, PA

File No. 23-12026

January 5, 2024

- Plan sheet titled “Pre Development Drainage Area Plan” dated December 4, 2023;
- Conditional Use Application for 241 Park Road and 235 Park Road (undated);
- Subdivision / Land Development Application (Preliminary Submittal) dated December 1, 2023;
- Subdivision / Land Development Review Escrow Agreement made December 1, 2023;
- Act 247 County Referral form;
- Conditional Use Impact Statement for 241 Park Road and 235 Park Road dated December 4, 2023;
- Fiscal Impact Analysis – Proposed Daycare Facility, 241 Park Road dated November 15, 2023, and prepared by EH Creative Services LLC;
- Trip Generation Analysis Proposed Child Day Care Center Canal - Park Road dated November 27, 2023, and prepared by Heinrich & Klein Associate, Inc.;
- Plan sheet titled “Presentation Plan for 241 Park Road” dated December 14, 2023;
- Architectural plan sheet titled “Schematic 241 Park Road” dated December 13, 2023.

The subject site is comprised of two (2) parcels (TMP 32-4-37 and TMP 32-4-38.8) located at the intersection of Park Road and Ticonderoga Blvd. The property is located in the C-1 Village Commercial Zoning District.

G&A, as well as other Township Consultants, has completed our first review of the above referenced preliminary land development application for compliance with the applicable sections of the Township’s Zoning Ordinance, Subdivision and Land Development Ordinance, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

Please note that comments with a **(V)**, **(RW)** or a **(W)** may require relief from the Township Ordinances. A **(V)** denotes a variance may be required or has previously been granted, a **(CU)** denotes conditional use, an **(RW)** denotes a requested waiver, and a **(W)** denotes a waiver that has not been requested, but we believe is required.

## **I. OVERVIEW**

The Applicant is proposing to consolidate two existing lots and construct a 6,000 SF (footprint) two-story building with outdoor play areas, parking and stormwater management in the C-1 Village District. The parking area has access from Park Road. The total impervious surface coverage onsite is approximately 20,359 square feet, and the total proposed disturbance for the construction is approximately 0.865 acres. Two underground infiltration beds, inlets and piping are proposed to control the runoff from the proposed improvements. Retaining walls approximately 3.5-feet in height at their maximum are proposed along three sides of the property. There are no floodplains on the site.

## **II. ZONING ORDINANCE REVIEW**

1. (CU) §200-33.B.(3) – A daycare center is permitted as a principal use when authorized by conditional use by the Board of Supervisors. The applicant is seeking conditional use.
2. (CU) §200-34.F. – No structure or principal buildings shall exceed 35 feet in height. As a condition of conditional use approval, the Board of Supervisors may permit roof structures above the cornice line which exceed the applicable height limit, where the Board agrees that such structures enhance the appearance of the overall design. The height from attic to roof peak shall be labeled on the architectural plan to clarify either compliance or that approval by conditional use is required to permit exceeding 35 feet in height.
3. (CU) §200-36.B.(1)(a) – Where any individual building facade is visible from any public right-of-way and exceeds 60 feet in length, there shall be a clear dimensional differentiation of roofline and/or an offset in facade of at least 10 feet, effectively breaking the single facade into two or more facades each no more than 60 feet in length. Where approved by the Board of Supervisors as a conditional use, single facades greater than 60 feet in length may be permitted in accordance with this section. The building façade facing Park Road is 100-feet in length and no break is proposed. Therefore, approval by conditional use is required.
4. §200-36.B.(1)(b) – The architectural rendering indicates a pitched roof. Desired materials on pitched roofs include slate (either natural or man-made), shingle (either wood or asphalt composition), and metal formed to resemble "standing seams." Roof color should reflect local traditional use of color, and shall specifically exclude white, tan, or blue shingles, red clay tiles, and corrugated metal or other corrugated material. The use of fascias, dormers, and gables is encouraged to provide visual interest. The applicant shall provide information on the roofing to show compliance with these requirements.
5. §200-36.B.(1)(c) – Exterior wall materials may include stucco, wood clapboard (including vinyl or aluminum imitation clapboard siding), native stone, brick, or other material of a shape, color,

and texture similar to that found on historic structures in the vicinity. The applicant shall provide information on the exterior wall materials to show compliance with these requirements.

6. §200-36.B.(1)(d) – All facilities and equipment for heating/air conditioning, trash collection and compaction, and other structural elements not in keeping with historical architectural themes shall be concealed architecturally or otherwise screened from view from any public right-of-way or public space. The applicant shall clarify where HVAC equipment is located to determine if screening is required. A fence detail shall be provided for the fence surrounding the outdoor play areas. Note that two (2) Grading Plan sheets were included with the submission which show the dumpster location in different spots; the applicant shall clarify which Grading Sheet is intended to be part of the plan set. The Dumpster Enclosure Detail (Sheet 7) includes the note “The applicant may utilize an alternate privacy fence the dumpster with the approval of the township engineer” which should be removed.
7. §200-36.B.(2) – For all principal uses permitted by conditional use approval, applicant shall provide drawings of sufficient detail to illustrate the character of the intended exterior design of structures, including scale, height, roof pitch, relationship between varying facade elements, and principal exterior materials. The Township may require that material samples also be provided. It shall be the burden of the applicant to demonstrate that submitted architectural designs are consistent with, and promote, the purposes and standards set forth for the C-1 Village District.
8. §200-36.B.(3) – Where the Board of Supervisors determines that architectural design, as presented by applicant, is an essential means by which the proposed use will comply with the purposes and standards set forth for the C-1 Village District, as a condition of approval of any conditional use, the Board may require adherence to the intended architectural character as proposed by the applicant.
9. §200-36.D. – Streetscape landscaping and pedestrian amenities shall be provided as necessary to meet overall village planning objectives and shall be coordinated with adjacent properties. Where appropriate, the Township may require any of the amenities outlined herein, including provision for their regular upkeep and maintenance. We defer to the Township Planning Commission and Land Planner in this matter.
10. §200-64.A. – The minimum lot area for each child shall be 1,000 square feet, but no lot containing a day-care center shall be less than 30,000 square feet. The Conditional Use Impact Statement states an anticipated capacity of 120-125 children; therefore, the minimum lot area is 120,000 SF to 125,000 SF. The proposed lot area is 34,000 SF, which appears to be inadequate.
11. §200-64.B. – There shall be an indoor play area of 50 square feet per child and an outdoor play area of 75 square feet per child provided. The Conditional Use Impact Statement states

an anticipated capacity of 120-125 children. Therefore, 6,000 SF to 6,250 SF of indoor play area is required. The outdoor play area is required to be 9,000 SF to 9,375 SF; a 3,000 SF outdoor play area with a 900 SF infant outdoor play area are proposed. The play areas appear to be inadequate.

12. §200-64.C. – The outdoor play area shall be fenced on all sides, and fencing shall be a minimum height of four feet. Provide a fence detail.
13. §200-64.D. – Off-street parking spaces shall be in accordance with §200-73. In addition, during the Conditional Use hearing, it should be discussed how the discharge and pickup of children shall be handled.
14. §200-64.E. – The facility shall be licensed by the applicable departments of the Commonwealth of Pennsylvania and their regulations.
15. §200-73.A.(3). – In any commercial or industrial district, no parking, loading or service area shall be located within 25 feet of the ultimate right-of-way line. Show this offset from Park Road ultimate right-of-way.
16. §200-73.B.(2). and §200-74. – Please indicate where delivery vehicles are intended to park.
17. (CU) §200-73.K.(2) and (4) – Where any use or activity is subject to application for approval of a conditional use, modification(s) to the provisions of this section may be requested as part of such application. In approving any application pursuant to Subsection K(2), the Board of Supervisors, as a condition of approval of such application, may permit specific modification(s) to the provisions of this section subject to the conditions outlined in K(4). The applicant does not provide the required number of parking spaces (50) and is seeking a modification to reduce the number provided (39). We defer to Bowman in this matter.
18. §200-79. – A lighting plan in conformance with the requirements of this section shall be provided. We note that the Sheet Index on Sheet 1 indicates “(Reserved) Lighting Plan” and that this sheet was not provided. A lighting plan shall be provided.
19. §200-88.A. – No fence over six feet in height shall be erected within any required yards. Fencing is shown in the required front and rear yards; provide a fence detail showing compliance with the height requirement.
20. §200-93. – The applicant shall clarify what signage is proposed. We defer to the Zoning Officer regarding proposed signage.
21. §200-117.J. The applicant shall submit a site analysis and impact plan, pursuant to §162-9D of Chapter 162, Subdivision and Land Development.

### **III. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE REVIEW**

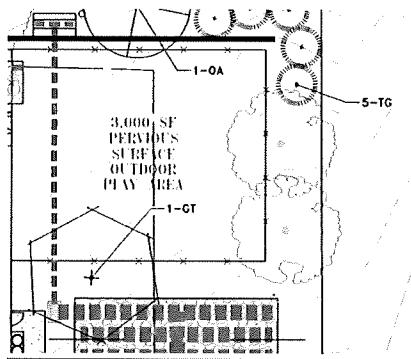
1. §162-9.B.(1)(b) – Provide the closure report and legal description for the consolidated lot.
2. §162-9.B.(1)(h) – The submittal shall include the conservation plan, per Subsection E of this section.
3. §162-9.B.(2)(b)[5] – Any waivers being requested by the applicant, as well as all waivers granted to the applicant by the Board, shall be clearly stated on the first sheet (title plan) of the preliminary plan submission.
4. §162-9.B.(2)(b)[11] – If no wetlands exist on the tract for which the land development is proposed, the plan must include a statement indicating so.
5. §162-9.B.(2)(b)[18] – Location and elevation of the datum to which contour elevations refer shall be stated, and the datum used shall be a known established benchmark. Provide the benchmark used. We note that the plan is based on topography that is 14 years old (Notes 3 and 4 on Sheet 4 of 12); we recommend the topography be verified.
6. §162-9.B.(2)(d), §162-9.D and §162-9.E. – The preliminary plan shall be accompanied by a preliminary site analysis and impact plan prepared in accordance with Subsection D and a preliminary conservation plan prepared in accordance with Subsection E.
7. §162-9.H.(1)(b) and §162-9.H.(5). – We defer to the Township's Historical Commission whether an Historic Impact Statement is required. Their comments are included herein.
8. §162-9.H.(4). – A fiscal impact statement shall be prepared for all conditional use, identifying the likely impact of the development on the Township's tax structure and expenditure patterns. We offer the following comments on the submitted Fiscal Impact Analysis.
  - a. Requires the Fiscal Impact Analysis to identify the expenses associated with delivering service to the proposed development. The report includes the conclusions of this analysis but does not provide the actual analysis itself or calculations or data supporting how those conclusions were reached. The cost analysis shall be revised to include sufficient data to demonstrate how the projected expenditures were calculated.
  - b. Requires the Fiscal Impact Analysis to address the impact of the proposed development on the ability of the Township to deliver fire, police, emergency (ambulance), administrative, public works and utility services (also as outlined in §162.H(4)(a) through (d)). In addition, §200-117.K requires that in preparation of the Fiscal Impact Analysis, the applicant shall

(also) solicit information from Upper Uwchlan Township officials (administration, public works, police, fire and emergency services, parks and recreation) regarding the need to add staff, facilities or equipment in order to properly service the development proposal and the associated costs of providing these services. The Fiscal Impact Analysis shall be revised to address these requirements.

- c. Upper Uwchlan Township levies a Local Services Tax which requires employers to withhold \$10 annually from employee paychecks. The calculation of revenue impacts shall be revised to reflect this required tax.
- d. The Fiscal Impact Analysis shall provide a source or data supporting the indicated total market value for the improved property of \$3.5 million.
- e. Where properties are within 780 feet of a fire hydrant, an additional 0.087 mills are assessed. The report shall indicate whether the additional hydrant millage is applicable, and if so, include that millage in the calculation of revenues.
- f. The Revenue Impacts section indicates that the estimated annual mean wage for employees used to calculate EIT revenues was taken from the Bureau of Labor Statistics May 2022 data for "Childcare Workers," and is \$29,920. However, the BLS website May 2022 data indicates that this amount is \$27,920. The calculations provided shall be revised to accurately indicate the data shown on the Bureau of Labor Statistics website.

9. §162-41.E, G, H and I – Provide a detail for the sidewalk meeting the requirements of these sections.
10. §162-49.D – Wherever a public or community water system is provided, fire hydrants or acceptable alternatives shall be installed for fire protection. We note the plans show a fire hydrant on the opposite side of Park Road. We defer to the Fire Marshal.
11. §162-49.E – A will-serve letter shall be provided for the proposed public water.
12. §162-52 – Upon completion of construction, the entire amount of topsoil stripped shall be replaced on the site. No topsoil shall be disposed of, by sale or otherwise, off the site of the construction. Add a note stating same to the Record Plan and the Sequence of Construction.
13. §162-55.B.(2). – No specimen tree(s) shall be removed from any lot or tract except where the applicant demonstrates to the satisfaction of the Board of Supervisors that such removal is essential to eliminate hazardous condition(s) or otherwise permit lawful use of the lot or tract; where permitted, removal of specimen trees shall be minimized. It appears some specimen trees are proposed to be removed. This should be discussed with the Planning Commission.

14. §162-55.B.(5)(a) – This section requires that where existing trees are to remain, no change in existing grade shall be permitted within the dripline of the trees and an appropriate four feet high tree protection fence shall be placed at the dripline of the trees. There are two (2) trees proposed to remain along the eastern property line that show pervious surface play area proposed within the canopy of the trees. Plans should be revised to include tree protection fencing to demonstrate compliance with this section of the ordinance, or a waiver is required.



15. §162-55.B.(7) Replacement trees are required for each tree greater than six inches dbh removed. Based on the size and number of trees proposed to be removed, either four (4) replacement trees (at 4-6.5" caliper) or twenty-three (23) replacement trees (at 3-3.5" caliper) are required to be planted and are in addition to other required landscaping. Plans should be revised to demonstrate compliance with this requirement, or a waiver would be required.

20.(W) §162-57.C.(7). - the interior of each parking area shall have at least one shade tree for every five parking spaces. Based on 39 proposed spaces eight (8) shade trees are required but only four (4) are proposed. Plans should be revised to demonstrate compliance with the requirement of the ordinance, or a waiver would be requested. A waiver has been requested from this requirement.

21.(W) §162-57.D.(1) - Per 1,000 SF of gross building area two (2) deciduous trees, one (1) evergreen tree and eight (8) shrubs are required to be planted and are in addition to any required replacement plantings due to woodland disturbance. Based on the 6,000 SF proposed building 12 deciduous trees, 6 evergreen trees and 48 shrubs are required. The applicant is requesting a waiver from providing 12 deciduous trees and 6 evergreen trees. (48 shrubs are provided.)

22.(W) §162-57.D.(1) - Per 100 linear feet of existing tract boundary where not coincident with existing road frontage, 1 deciduous tree 2 evergreen trees and 8 shrubs are required. Based on the

eastern and southern property lines linear footage, 4 deciduous trees, 8 evergreen trees and 32 shrubs are required. The applicant is requesting a partial waiver from providing 3 evergreen trees (5 are provided) and 2 shrubs (30 are provided). There is a 4-6-foot-high wall proposed along the southern property line that wraps along a portion of the eastern property line.

#### **IV. STORMWATER MANAGEMENT ORDINANCE REVIEW**

1. §152-110. – The applicant shall post financial security to the municipality for the timely installation and proper construction of all stormwater management facilities as required by the approved SWM site plan and this chapter.
2. §152-306.J(2) – All infiltration practices shall be set back at least 15 feet from all buildings and features with subgrade elements (e.g., basements, foundation walls, etc.). Clarify whether the proposed building has subgrade elements and label the distance from the building to the UG infiltration beds if applicable.
3. §152-306.J(3) – Setbacks from property lines and rights-of-way for all infiltration practices are to be consistent with accessory structures in the Zoning Ordinance, for the applicable zoning district. Note that the Zoning Ordinance states that no accessory structure shall be located within the front yard, nor within 10-feet of any rear or side lot line. SB-2 is located within the front yard setback from Ticonderoga Blvd. We suggest consideration be given to relocating SB-2 to be under the outdoor play area and not within the required front yard.
4. §152-306.O. – Appropriate permanent measures to prevent or collect sediment shall be installed prior to discharge to the infiltration system. We recommend Snout devices (or similar) be installed in inlets 100, 101 and 102 (inlet numbers per Utility Plan). Note that Infiltration Bed Sequence of Construction (Sheet 7) step #5 states that Snout inserts are proposed. Additionally, Construction Sequence note #8 (Sheet 10) should be revised to note the location of the Infiltration Bed Sequence of Construction. Provide details for the Snout devices and add maintenance procedures to the Stormwater O&M plan as well.
5. §152-306.P. – Where roof drains are designed to discharge to infiltration practices, they shall have appropriate measures to prevent clogging by unwanted debris (for example, silt, leaves and vegetation). Such measures shall include but are not limited to leaf traps, gutter guards and cleanouts. Show the downspouts and roof drains on the plan view.
6. §152-307.A and §152-308.A – The peak flow rate of the post-construction two-year, twenty-four-hour design storm shall be reduced to the predevelopment peak flow rate of the one-year, twenty-four-hour duration precipitation, using the SCS Type II distribution. Provide a flow summary table showing that all flow reductions have been met.

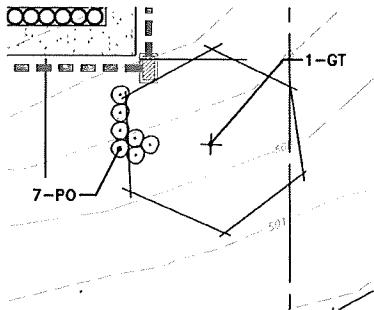
7. §152-402.A.(3) to (5) – Add the statements / signature blocks in these sections to the Stormwater Management Plan (Sheet 6).
8. §152-402.F.(2) and §152-701.D.(1), (2) and F(1) and (2), and §152-703.A. – An Operation and Maintenance agreement shall be prepared and submitted to the municipality for review and approval. The Stormwater Management Plans and the agreement shall be recorded.
9. §152-702.B.(4), §152-702.C., §152-702.D. and §152-702.E. – The statements in these sections shall be added to the Stormwater Management Plan.
10. §152-804 – The statements in this section shall be added to the Stormwater Management Plan.
11. Revise the “Total Post Development Runoff Volume Reduction” on page 15 of the report, as it does not appear correct.
12. Verify the bed width of SB-1 as well as the pipe lengths on the detail on Sheet 7, as it does not match the Summary for Pond in the report or the plan view. Verify the pipe dimensions in the SB-1 detail.
13. Provide stage-storage tables for SB-1 and SB-2.
14. Verify the 12-inch outlet pipe INV on the SB-1 OS detail, as it appears incorrect.
15. Verify that the inlet numbers match in the SB-1 detail and the Utility Plan.
16. Fencing is proposed over SB-2 which shall be revised.
17. Add the Blanket Stormwater Management Easement to the Stormwater Management Plan.

## V. GENERAL COMMENTS

1. The requested landscaping waivers should be indicated on the record plan and a waiver request letter should be provided indicating the hardship necessitating the waiver.
2. The Lot consolidation should be shown on the Record Plan, not the existing conditions plan.
3. A preliminary design shall be provided for the retaining walls to verify that any required tie-backs will not conflict with the adjacent FedEx property.
4. Detail how the level spreader (3-feet deep) will be constructed directly adjacent to the retaining wall.

5. A temporary grading easement will be needed for the proposed offsite grading along Park Road.
6. Remove the limit of disturbance (LOD) from all plans except the Erosion & Sediment control plan.
7. Add the off-site grading to the LOD.
8. Provide a detail for the play area pervious surfaces.
9. Clarify the purpose of the 5-foot sidewalk segments at the doors along Park Road building frontage.
10. Revise General Notes #8 to indicate Upper Uwchlan Township (Honey Brook Township is currently noted) and revise the spelling of "March Creek" in General Notes #12 (should be Marsh Creek). Note this is General Notes #13 on some plan sheets.
11. Show all proposed curbing on the Landscape Plan.
12. Revise the text overwrite regarding OCF and survey limits on Sheet 10.
13. Revise the TP-1 and TP-2 labels to be visible (UG piping hides the text).
14. Clarify what appear to be swales in the front yards, as a very flat slope is provided to the inlet. Yard drains may be more appropriate.
15. The Sequence of Construction indicates orange construction fencing around infiltration areas, one of which is under the parking lot. Clarify how any earthwork or construction of parking lot can occur.
16. Clarify in the Sequence of Construction when pavement, sidewalk and the retaining walls are to be installed.
17. Remove reference to the Conservation District from the Sequence of Construction.
18. Remove / relocate the handicap building access notice from the existing conditions plan.

19. All planting islands, proposed curbing and entrance drives need to be shown on the Landscaping Plan (Sheet LP-1).



20. All stormwater BMP details (i.e., infiltration beds, level spreader) should be located on the Stormwater Management Plan. Add a notation to Sheets 5 and 6 indicating these sheets are to be recorded.
21. Verify that the detail for "sealing inlet grates with plywood per detail" (Infiltration Bed Sequence of Construction note #5, Sheet 7) is provided.
22. On Sheet 7: verify "maintaining the grass in and around the basin areas" in the Stormwater Management Facility Maintenance; revise "March Creek" in the Receiving Watershed Notice; verify the Adequacy of Discharge statement; verify the Level Spreader Outfall Contingency Plan discharge limits ("along the entire flowpath to the floodplain"); revise the BMP Maintenance Requirements title to include Erosion and Sediment for clarity.

**VI. TOWNSHIP TRAFFIC CONSULTANT COMMENTS**  
**BOWMAN**

1. SALDO Section 162-9.H(1)(a) – As outlined in the trip generation analysis, the site will generate 572 total daily trips (320 new daily trips which accounts for a reduction of 252 daily pass-by trips), 132 total trips during the weekday morning peak hour (74 new weekday morning peak hour trips), and 134 total trips during the weekday afternoon peak hour (76 new weekday afternoon peak hour trips). Based on the Township's traffic impact study requirements, a traffic impact study is required when a site generates 200 daily or 20 peak hour trips, and as such, a traffic impact study is required for this site. We recommend the traffic study should include an evaluation of the Park Road intersections with Ticonderoga Boulevard and Little Conestoga Road. In addition, the Pottstown Pike (S.R. 0100)/Park Road/Station Boulevard intersection should also be included in order to account for pass-by traffic. The traffic study should evaluate

existing conditions, as well as future build-out year traffic conditions both without and with the proposed daycare during the weekday morning and weekday afternoon commuter peak hours. Furthermore, due to the proposed driveway spacing with the Windsor Baptist driveways immediately to the north and south of the proposed driveway, the traffic study should include traffic counts at the two closest Windsor Baptist driveways to the north and south of the proposed site driveway.

2. SALDO Section 162-27.1 – This project is located within the C1 zoning district, and is subject to the Township's access management standards. Based on the plan, we offer the following comments with respect to these standards:
  - a. Section 162-27.1.K(1) – The plans should be revised to provide truck turning templates for the largest anticipated vehicle to the site, as well as the Township's largest emergency service vehicle. The truck turning templates will be used to determine the adequacy of the proposed site access/curb radii design and review of the internal site circulation.
  - b. Section 162-27.1.M(1) – This section of the ordinance would require the proposed driveway to align opposite the Windsor Baptist Church driveway across the street; however, if this is not feasible, justification, including the traffic study results, should be provided to support the proposed design.
  - c. It is our understanding that Windsor Baptist Church may be proposing an expansion to their existing facilities that may include a new/relocated access point along Park Road opposite Ticonderoga Boulevard. To the extent possible, the applicant should coordinate with Windsor Baptist regarding any proposed roadway improvements that should be considered for planning purposes as it relates to the proposed 241 Park Road site driveway.
3. SALDO Section 162-28.A – The plans should clearly label and dimension the existing legal right-of-way along the Park Road and Ticonderoga Road site frontages. Since both Park Road and Ticonderoga Road are classified as a minor collector roads, the half-width right-of-way along the site frontage should be 25 feet. Any additional right-of-way required to meet the 25-foot half-width right-of-way requirement should be labeled "Required Right-of-Way (To Be Deeded To Upper Uwchlan Township)".
4. SALDO Section 162-28 – Park Road should provide a half width of 16 feet along the site frontage, which is generally provided; however, in areas where it is less than 16 feet, please provide a minimum of 16 feet from the site driveway north to the intersection with Ticonderoga Boulevard, and modify the site access to locate the driveway curb returns to be set back 16 feet from the road centerline.
5. SALDO Section 162-41 – Sidewalk may be required on the Park Road and Ticonderoga Boulevard site frontages. The plan proposes sidewalk along a portion of the Park Road frontage

to connect the site parking lot and building entrances to the intersection of Park Road and Ticonderoga Boulevard. We believe this is sufficient, and we do not believe additional sidewalk is necessary on either road, as we note the Township's draft Active Transportation Plan does not envision a further extension of sidewalk along the Ticonderoga Boulevard site frontage or further to the south on the east side of Park Road. However, we recommend new curbing along the Park Road site frontage between the driveway and the corner at Ticonderoga Boulevard, as it will provide added protection for pedestrians, and since the existing limited section of curb is in poor condition.

6. ZO Section 200-73.H and 200-73.K – The proposed daycare requires one parking space per 300 square feet of gross floor area, and one parking space per employee, which equates to 50 parking spaces (i.e., 40 parking spaces for the building size, plus 10 parking spaces for the employees) as outlined in the parking tabulation on sheet 1. However, the plans propose a total parking supply of 39 parking spaces, and the applicant requests a modification of the parking requirements per ZO Section 200-73.K to allow a reduction in the required parking supply. Prior to the Township rendering a decision on this requested parking supply reduction, the applicant should provide technical justification to support the proposed parking supply. Furthermore, the Township Solicitor should review the requested parking reduction based on the requirements described in Section 220-73K.
7. ZO Section 200-75.H(3) – The following comments pertain to the sight distances at the proposed site access intersection:
  - a. The plans indicate adequate sight distance can be provided for traffic exiting the site looking the left with embankment regrading within the Park Road right-of-way south of the southern property line. The plans should be revised to show the full limits of the required sight distance and the design detail for the grading work necessary to achieve the required sight distance. Furthermore, in order to verify the proposed grading, the plans should include a profile of the sight distance line for traffic exiting the driveway looking to the left, including a six inch clearance between the sight line and the proposed ground line.
  - b. A speed study should be conducted along Park Road to determine the prevailing (i.e., 85th percentile) speed of traffic for use in calculating the required safe stopping sight distances for the site access intersection.
  - c. The plans should dimension and label the sight distances for left-turn vehicles entering the proposed driveway looking ahead and behind.
  - d. The plans should include a PennDOT-style sight distance note which states the required sight distances, as follows. The required sight distances should be based on the results of the speed study requested above.

"All sight distance obstructions (including but not limited to embankments and vegetation) shall be removed by the permittee to provide a minimum of XXX sight distance to the left and XXX sight distance to the right for a driver exiting the proposed driveways onto the through highway. The driver must be considered to be positioned ten feet from the near edge of the closest highway through travel lane (from the curbline if curbing is present) at an eye height of three feet six inches (3' 6") above the pavement surface located in the center of the closest highway travel lane designated for use by approaching traffic. This sight distance shall be maintained by the permittee."

8. The ADA curb ramp located on the southeast corner of the Park Road/Ticonderoga Boulevard intersection, as well as the receiving ramp on the northeast corner, should be upgraded to meet current ADA requirements. Detailed curb ramp designs should be provided for review. The detailed designs should include separate grading details (including spot elevations at all proposed grade changes), and all dimensions for construction, including widths, lengths, and all slopes to assist during construction. In addition, please label all proposed curb ramp types, and provide the appropriate PennDOT curb ramp details and notes on the detail sheets. In addition, the existing asphalt curb ramps in these locations should be completely removed in favor of a concrete curb ramp.
9. The plans should be revised to provide a Stop (R1-1) sign and 24-inch painted stop bar along the site access approach to Park Road.
10. Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and as such, this development is subject to the Township's Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. As such, based on the trip generation calculations provided by the applicant's traffic engineer, the site will generate 76 new weekday afternoon peak hour trips. Furthermore, the existing home on the site would generate one new weekday afternoon peak hour trip, which can be credited against the total Transportation Impact Fee for the site. As such, the number of trips subject to the Township's Transportation Impact Fee is 75 (76 new trips generated by the proposed site minus one trip generated by the existing home), and the resultant Transportation Impact Fee is **\$175,050**.

**VII. TOWNSHIP PLANNING CONSULTANT COMMENTS**  
**BRANDYWINE CONSERVANCY**

1. The proposed development is located within the area identified in the 2014 Upper Uwchlan Comprehensive Plan's Future Land Use Map as Village, areas that would continue to be limited to residential infill that is consistent with current historic structures, considers adaptive reuse of historic buildings for residential purposes, and that consider open space, buffering, and pedestrian needs. More specifically, the proposed development falls within the Eagle Village-

Village of Eagle/Byers Concept Plan of the 2014 Comprehensive Plan, an update to which is currently underway.

The 2014 Village Concept Plan identifies several planning objectives for the village, which include maintaining its visual integrity, preserving Class I and Class II historic resources, providing controlled access to Graphite Mine Road, ensuring traffic access management, enhancing interconnectivity for pedestrians, and providing consistent streetscapes and ample civic spaces throughout.

The proposed development sits on the very edge of the Turnpike sub-area for the 2014 Village Concept Plan, which envisions this area being utilized for larger scale commercial uses, as well as office buildings and light industrial uses.

While the proposed development appears to align with the general goals of the 2014 Village Concept Plan, it does sit at the edge of an area designated for heavier land uses. As such, the Township and applicant should ensure the plant material chosen for the southern property boundary adjacent to parcel 32-3-69.4 is appropriate and would provide adequate screening between the two uses.

2. The Brandywine Conservancy notes the applicant intends to seek modifications to the parking requirements under Section 200-73K of the Zoning Ordinance. Given the nature of the proposed use (pick-up and drop-offs at a day care facility tend to occur over a more prolonged time than at a traditional K-12 institution), the Brandywine Conservancy is in support of this modification request. However, the Township and applicant might consider exploring options for shared parking that might be utilized by staff who work at the day care center.
3. The applicant proposes the use of 2 'Twilight' Crape Myrtle's on the plan. The Township might consider requesting native alternatives, such as eastern redbud (*Cercis canadensis*) or fringe tree (*Chionanthus virginicus*) for the environmental benefits that native species provide. Both are small, compact trees that provide attractive, spring flowers and color. In addition, there are several redbud cultivars that have attractive foliage (Forest Pansy, Rising Sun) that provide for additional seasonal interest.
4. The Township should ensure the applicant has made every effort to conform to the landscaping requirements under Section 162-57 of the Township Code.
5. It is noted that the Landscape Plan is drawn on the existing topography of the site. It is suggested the Landscape Plan include the as-built grade for the property.
6. While not marked specifically on the Plans, it appears that a shallow depression will exist in the northwest corner of the property. If so, and this is part of the proposed stormwater management for the property, consideration should be given to incorporating native vegetation

into this swale for added interest and enhanced environmental benefits, as opposed to turf grass that provides little environmental benefit and can, over time, limit infiltration.

7. The Brandywine Conservancy notes the inclusion of a 5' pedestrian sidewalk along most of the frontage along Park Rd. This will provide for pedestrian access to the facility from nearby residential areas, such as the Townes at Chester Springs, reducing the need for additional vehicular trips and lowering parking needs at the site during drop-off and pick-up times. It also enhances the growing pedestrian network in the Township.
8. Given the proposed development is within the C-1 zoning district, the Township should ensure the applicant is in compliance with the applicable design standards set forth in Section 200-36 of the Township Code, including that the structure be designed with either a traditional village architectural character or be a contemporary expression of traditional styles and forms. Given the proximity of the development to Windsor Baptist Church, a historic resource in Upper Uwchlan Township, the Brandywine Conservancy suggests the Historical Commission review the plans and architectural drawings. In addition, the Township might consider seeking the advice of the Township's Historic Resource Consultant on the proposed schematic of the facility.

**VIII. TOWNSHIP SEWER CONSULTANT COMMENTS**  
**ARRO CONSULTING, INC.**

1. The site is currently a single-family dwelling. Plans proposed the demolition of the existing single-family home and the construction of a two-story office daycare facility, a play area and parking lot. Based on discussions with the applicant's engineer, the anticipated building capacity is 120-125 children with approximately 20 employees. We estimate the anticipated usage to be 675 gallons per day (GPD) or three (3) equivalent dwelling units (EDUs). The required capacity will need to be purchased by the applicant. We recommend the Township reserve the right to review water usage in the future and require the purchase of additional sanitary sewer capacity if warranted.
2. The following notes shall be on the plan:
  - All sanitary sewer improvements must be provided and installed in accordance with the Upper Uwchlan Township Municipal Authority Technical Specifications for the Construction of Sewer Mains and Appurtenances to be connected to the public sewer system.
  - The Authority Engineer shall be notified 48 hours prior to the beginning of sanitary sewer construction.

- The existing on-lot septic system shall be decommissioned in accordance with the Chester County Health Department requirements.
- Wastewater discharge shall be in compliance with the Regulations for the Discharge of Non-Residential Waste into the Upper Uwchlan Township Municipal Authority's Sewerage System, Resolution #10-20-04-15, dated October 20, 2004. The Township personnel and/or agents shall have access to site for implementation of this resolution.
- A record (as-built) plan must be submitted to the Authority Engineer.

3. Sewage facilities planning approval will need to be obtained by the Pennsylvania Department of Environmental Protection (PADEP). The current planning approval for this site should be confirmed prior to submission.
4. The proposed invert elevation into the existing sanitary sewer manhole on Park Road should be identified on the profile. It shall also indicate that the connection needs to be core-drilled and include a water-tie boot.
5. The appropriate Standard Authority Sanitary Sewer Details shall be added to the plans.
6. An appropriately-sized grease interceptor shall be provided for any proposed kitchen facilities.
7. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

## **IX. HISTORIC COMMISSION COMMENTS**

1. Approve daycare center as conditional use.
2. If 241 Park Road is within 250 feet of the historic Windsor Baptist Church or its parsonage, an historic resources impact statement is required, unless waiver is requested and waiver approved by BOS.
3. In the alternative, an historic resources impact statement is required even if 241 Park Road is more than 250 feet from Windsor Baptist Church or parsonage because 241 Park Road house is "identified" in the Historic Resources Inventory, although without categorization or supporting files.
4. Although unclear if 241 Park Road house is a protected "historic structure" under Section 200-36, due to its relatively recent 1951 building date and lack of architectural significance, the house (and more modern outbuildings) may be demolished

Mr. Tony Scheivert, Upper Uwchlan Township Manager  
Reference: 241 Park Road  
Preliminary Land Development Review  
Upper Uwchlan Township, Chester County, PA  
File No. 23-12026  
January 5, 2024

Page - 19 -

5. Request that Planebrook Partners, LLC demonstrate that its submitted architectural designs for the proposed daycare center are consistent with, and promote, purposes and standards set forth for the C-1 Village Zoning District, including, but not limited to, by providing more details about proposed design and sample materials.
6. Request that Planebrook Partners, LLC provide more information on the proposed signage and exterior building art (duck tracks) to determine if it complies with the C-1 Village Zoning District signage requirements under Ordinance Section 200-98H and other applicable signage sections.

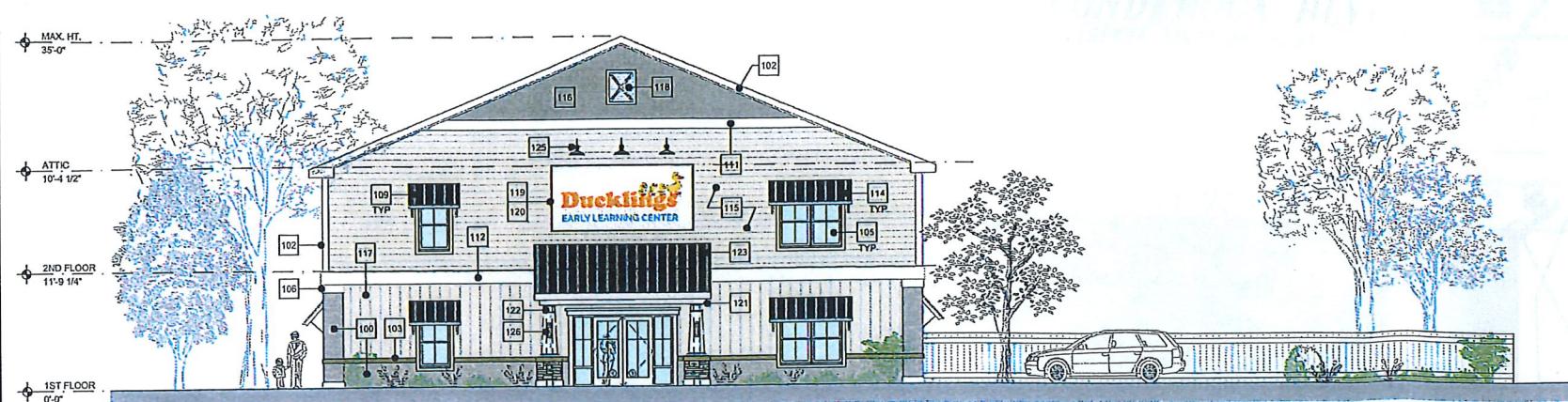
This concludes our first review of the above referenced preliminary land development application. We would recommend the plans be revised to address the above referenced comments. If you have any questions, please do not hesitate to contact me.

Sincerely,

*David N. Leh*

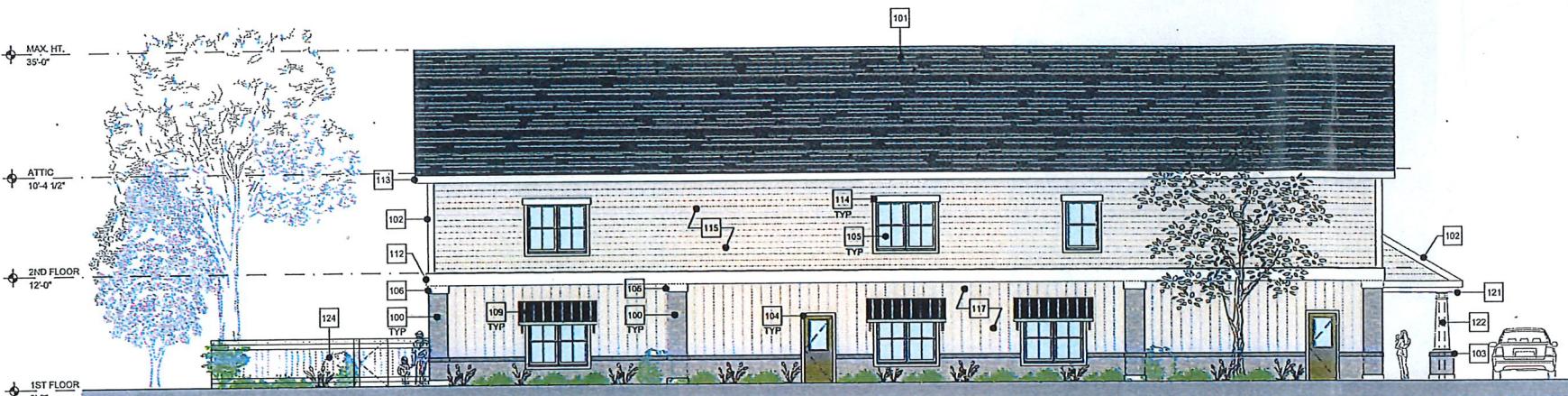
David N. Leh, P.E.  
Vice President  
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors  
Upper Uwchlan Historic Commission  
Gwen Jonik, Township Secretary  
Kristin Camp, Esq., BBM&M  
Rob Daniels, ASLA, Brandywine Conservancy  
Christopher J. Williams, P.E., McMahon Associates, Inc.  
David Schlott, P.E., ARRO Consulting, Inc.  
Victor Kelly, Jr., P.E., Commonwealth Engineers, Inc.  
Andrew Pancoast, 241 Park Avenue, LLC  
Scott Risbon, Planebrook Partners, LLC



**1 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"



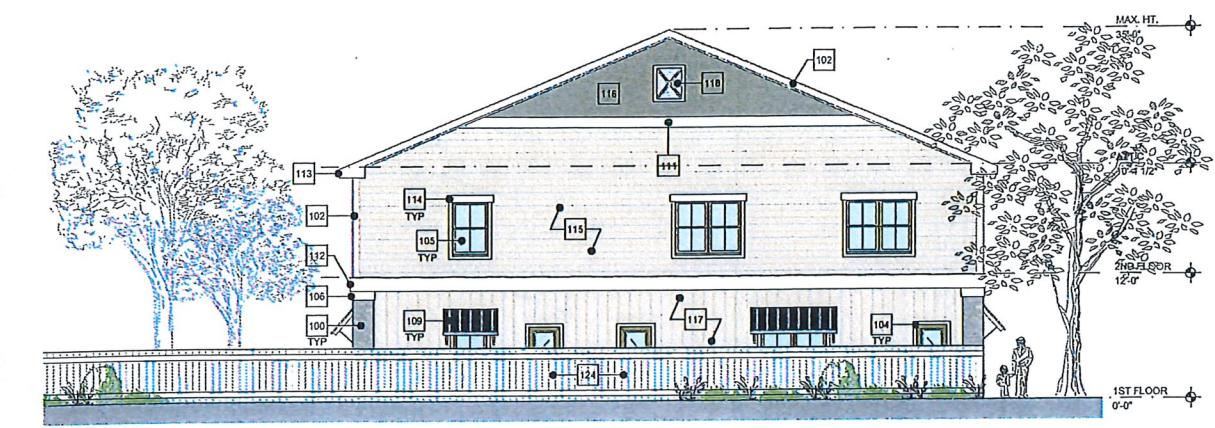
**2 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"



**3 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"



**4 Elevation**

SCALE:  $\frac{1}{8}$ " = 1'-0"

EXTERIOR FINISH MATERIALS SCHEDULE

TAG	MATERIAL	MANUFACTR	COLOR / NO.	NOTES
100	THIN STONE	STONE CRAFT	LAUREL CAVERN ASHER'	DRYSTACK
101	PRE-ENG ROOF TRUSS W/ ASPHALT SHINGLES	GAF TIMBERLINE HDZ	CHARCOAL	
102	8" AZEK RAKE BOARD & CORNER TRIM	AZEK	WHITE	SMOOTH
103	FRECAST SILL	T.B.D.	BROWN	
104	EXTERIOR DOOR	AS SCHEDULED	TO MATCH ADJACENT	AS SCHEDULED
105	VINYL DOUBLE HUNG WINDOW SYSTEM	ANDERSEN	WHITE 400 SERIES	REFER TO DETAILS IN THIS DRAWING SET
106	FRECAST / PRE-MFR. BASE OR CAP		NATURAL	MORTAR COLOR TO MATCH BASE OR CAP
107	ALUM. DOWNSPOUT	SELECTED BY OWNER	MATCH CORNICE	PVC BOOT TO STORM WATER SYSTEM
108	ALUM. CONT. GUTTER	SELECTED BY OWNER	MATCH CORNICE	
109	PRE-MANUFACTURED ALUM. METAL AWNING		BLACK	AS APPROVED BY OWNER PROVIDE SUPPORT BRACKETS
110	PRE-MANUFACTURED ZEE BOX	ATAS INTERNL, INC.	BLACK	INSTALL PER MFR'S DETAILS AND INSTRUCTIONS MANUAL
111	12" AZEK BAND TRIM	AZEK	WHITE	SMOOTH
112	16" AZEK BAND TRIM	AZEK	WHITE	SMOOTH
113	10" AZEK FASCIA TRIM	AZEK	WHITE	SMOOTH
114	4" AZEK JAMB/SILL TRIM 8" AZEK HEAD TRIM	AZEK	WHITE	SMOOTH
115	8" HORIZONTAL SIDING	HARDI-BOARD PLANK SIDING	WEATHERED CLIFFS	FINISH TYPE TO BE DETERMINED BY OWNER
116	STRAIGHT-CUT SIDING	HARDI-BOARD	WARM CLAY	FINISH TYPE TO BE DETERMINED BY OWNER
117	BOARD & BATTEN SIDING	HARDI-BOARD	WEATHERED CLIFFS	FINISH TYPE TO BE DETERMINED BY OWNER
118	DECORATIVE VINYL VENT	CERTAINTEED	WHITE	
119	FRT PLYWOOD AT SIGNAGE			PROVIDE BEHIND EXTERIOR SIGNAGE
120	SIGNAGE			BY OWNER / TENANT
121	BEAMS & BEAM END TRIM	AZEK	WHITE	SMOOTH
122	FIBERGLASS COLUMN SURROUND (TAPERED)	BUILDER'S STANDARD	WHITE	PROVIDE MATCHING BASES & CAPITALS (SMOOTH)
123	STANDING SEAM METAL ROOF	ATAS	BLACK	PREFINISHED
124	6" VINYL FENCE PRIVACY PLANK BOARDS	CERTAINTEED	WHITE	HEIGHT AS DETERMINED BY OWNER / TENANT
125	GOOSE NECK LIGHTING	T.B.D.	BLACK	BY OWNER / TENANT
126	SCONCE LIGHTING	T.B.D.	BLACK	BY OWNER / TENANT

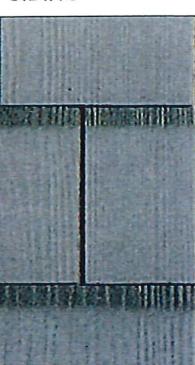
NOTE: ALL NEW CMU ON THIS PROJECT SHALL BE "DRY BLOCK" TYPE CMU & ALL MORTAR TO HAVE WATERPROOFING ADDITIVE AGENTS.



THIN STONE



HORIZONTAL SIDING



BOARD & BATTEN SIDING



STRAIGHT-CUT SIDING

**Ducklings™**  
EARLY LEARNING CENTER

**SCHEMATIC**  
241 PARK ROAD  
EAGLE, PENNSYLVANIA 19355



COMMONWEALTH ENGINEERS, INC.

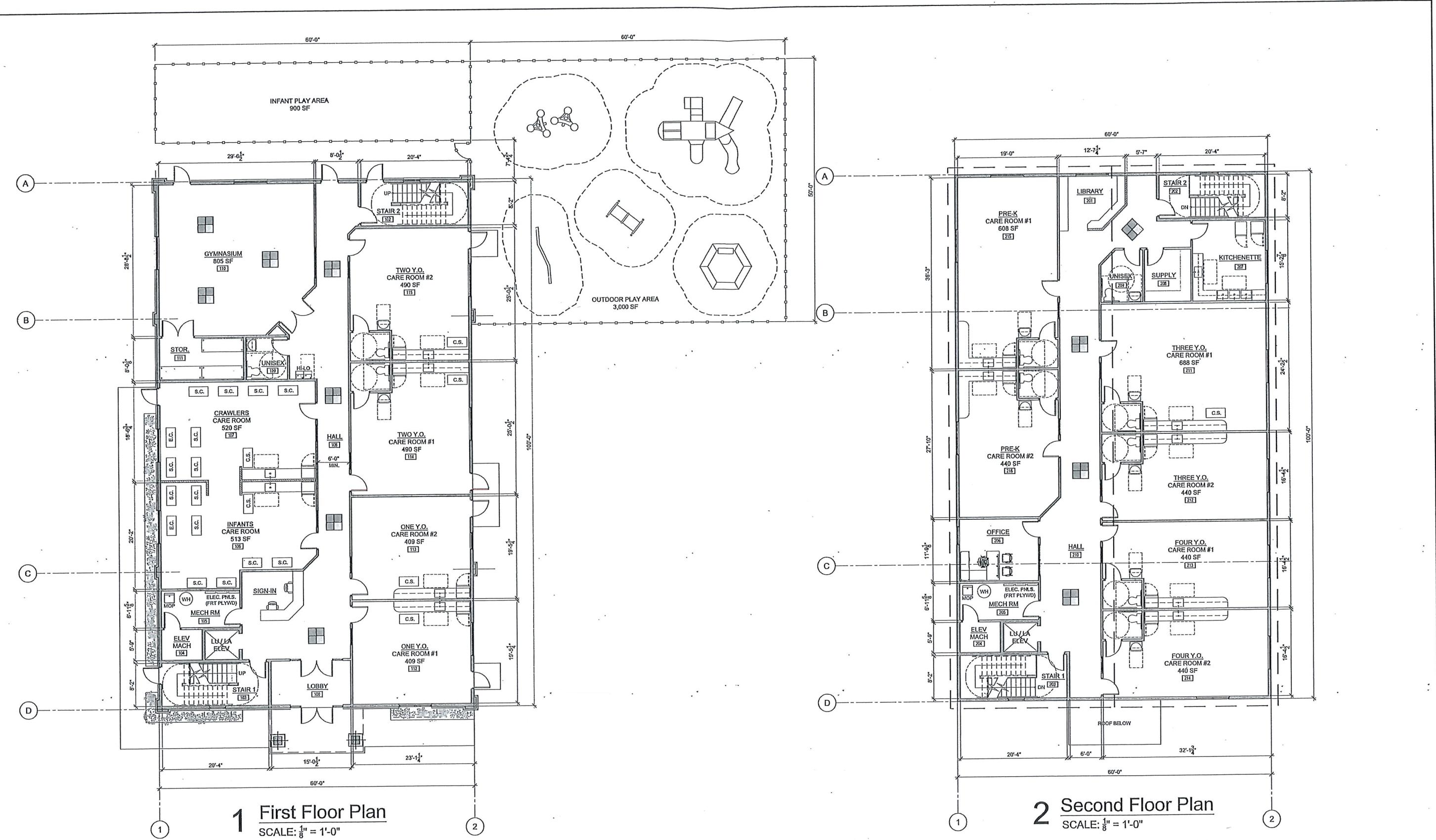
114 EAST LANCASTER AVENUE ~ SECOND FLOOR  
DOWNTOWN, PA 19335  
TELEPHONE: (610) 518-9003 ~ FAX: (610) 518-9004  
COMENG@CEI-1.COM

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**ARCHITECTURE, LLC**  
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**SK-4.2**

March 7, 2024

SA Project No. 2023.67



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EAGLE, PENNSYLVANIA 19355



**SK-4.1**  
March 7, 2024  
SA Project No. 2023.67



## UPPER UWCHLAN TOWNSHIP

Planning Commission  
March 14, 2024  
7:00 p.m. Meeting  
Minutes  
**Draft**

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

Attendees:

Sally Winterton, Chair; Joe Stoyack, Vice-Chair; Chad Adams, David Colajezzi, Jim Dewees, Jeff Smith, Jessica Wilhide

Mary Lou Lowrie, P.E., Gilmore & Associates  
Gwen Jonik, Planning Commission Secretary

Absent: Stephen Fean, Taylor Young

Sally Winterton called the meeting to order at 7:00 p.m. and welcomed Jessica Wilhide to the Planning Commission. There were 5 citizens in attendance.

241 Park Road – Conditional Use Application

Mike Malloy, Esq. introduced Jody Thompson, Ducklings Daycare owner, Scott Risbon, Planebrook Partners, and Vic Kelly, P.E. A revised conditional use presentation plan and revised building elevation, dated March 7, 2024, had been distributed for the Commission to review and a Conditional Use Hearing is scheduled for April 9, 2024 at 5:30 p.m. The Application is to construct a daycare center, Ducklings Daycare, on 2 parcels at the corner of Park Road and Ticonderoga Boulevard. This is a permitted use via conditional use approval. The initial submission was a conditional use and land development plan and a first round of reviews had been conducted. The Application seeks conditional use approval for a 2-story 6,000 SF daycare, with parking, and play areas. The exterior will have an area of stone at the base, board & batten, horizontal siding, and it will be served by public water and sewer. The Plan distributed tonight has addressed some of the consultants' January 2024 comments. However, at this time, they are seeking the Planning Commission's recommendation of approval for only the Use, not the land development plan. Waivers and other items will be discussed during the land development plan approval process. However, discussion of the consultants' review letter included:

the square footage of the classrooms and the play area is determined by the number of children that could be in that space at a given time, not all at once. The daycare is required to comply with the State's regulations for educational purposes. The State interprets the minimum area required differently than the Township;

They've added a variety of materials to the exterior but can't offset the façade by 10 feet after 60 feet in length as that will negatively impact the interior function of the daycare;

There will be landscaping along the long side of the building;

They'll comply with the pitched roof and exterior materials;

HVAC will be hidden;

The daycare will be for infants to age 5. They do not provide before-school or after-school care.

Employees park to the outside of the lot so parents park close to the building for quicker convenience;

There won't be drop-off lines in the parking lot --parents bring the child(ren) in to their teacher;

There are keypads for security purposes;

They open at 7:00 a.m. and close at 6:00 p.m.; the busiest time is 7:30-8:30 a.m.

Commission members were concerned with the play area being along Ticonderoga Blvd. Mr. Kelly noted there's a fence, curb and retaining wall – the play area is higher than the roadway;

Windsor Baptist Church will be realigning their Park Road access with Ticonderoga Blvd. which will remove conflict with the daycare access; Commission members concerned with the parking lot so close to the play area and suggested bollards be added, which Applicant agreed could be placed. The duck feet have been removed from the exterior, and they are trying to retain historic feel – open to ideas for the architecture on the long side of the building as long as it doesn't affect the interior operations.

Jeff Smith moved, seconded by Jim Dewees, that the Planning Commission approve the Applicant moving forward in the Conditional Use process and consider the Planning Commission's concerns with the following:

adequacy of the structural wall along Ticonderoga Boulevard;  
install a protective barrier in the parking lot at the outdoor play area;  
the architecture needs to be broken up on the long sides of the building;  
flow of traffic in the parking lot should be re-evaluated.

The motion passed unanimously.

#### Eagle Animal Hospital Sketch Plan

Bob Linn, Architect, introduced a Sketch Plan for reconstruction of the Animal Hospital on Byers Road. They are seeking the Commission's acceptance of the Plan for consultant review. The veterinarians were also in attendance. Mr. Linn attended the Historical Commission's (HC) March meeting and had good conversation regarding the architecture. Mr. Linn distributed a 4-page Historical Narrative and Request for Determination of No Adverse Effect, which the HC was reviewing. The Plan keeps the existing curb cut to Byers Road, keeps the existing parking area and expands in the front of building, they're keep the 3-seat privy and the 1920s garden shed. The proposed building is slightly larger than it was – 6,800 SF and 83' long. The elevations have been revised following the HC's meeting -- sloping roof on the dormers, looking for vinyl siding with German style, landscaping (bushes) and fencing, parking is lower than road. No sidewalk is proposed as it was previously waived and it wouldn't connect to other sidewalk – neighboring properties have no room for a sidewalk. Points of discussion included suggesting protection at the front door from the parking area; whether sprinklers are required; this is not a boarding facility, no animals overnight; there are 2 vets, plus 6-8 staff; they see an average of 40 animals / day; this Lot has been a veterinarian business for a long time; the Commission is pleased the business is staying in the Village; they'll clean up the privy and garden shed.

Jeff Smith moved, seconded by Jim Dewees, to accept the Plan for consultant review. The motion carried unanimously.

#### Meeting Updates ~ Reports

Environmental Advisory Council (EAC). Currently there is no liaison. Jessica might be interested. Historical Commission (HC). David Colajezzi reported the last meeting focused on Eagle Animal Hospital's sketch plan and renderings.

Village Concept Plan/Village Design Guidelines (VCP/VDG). Sally Winterton noted they haven't met recently.

Comprehensive Plan (CompPlan). Sally reported the group met Tuesday night and reviewed most of a rough draft.

#### Approval of Minutes

Jeff Smith moved, seconded by Jim Dewees, to approve as presented the minutes of the Planning Commission's February 8, 2024 Meeting. The motion carried unanimously.

### C1, C3, LI Zoning District Uses ~ Ordinance Amendment Draft

A draft ordinance was distributed including the Planning Commission's and the Board of Supervisors' amendments to the C1, C3 and LI zoning district uses. Before Joe Stoyack had to leave the meeting, he asked the group if we need to add the distance between a medical marijuana dispensary and schools, daycares, etc. Chad Adams noted that wouldn't be necessary as the State's regulations supersede ours.

Commission members will review the draft ordinance over the next month and discuss it at the April 11, 2024 Workshop (6:00 p.m.)

### Next Meeting Date

Sally Winterton announced the next meeting date is April 11, 2024, with a Workshop at 6:00 p.m. and the Meeting at 7:00 p.m.

### Open Session

Jim Dewees questioned the result of the zoning hearing for the billboard company. It's been rescheduled for April 24, 2024.

### Adjournment

Jim Dewees moved, seconded by David Colajezzi, to adjourn at 8:53 p.m. All were in favor.

Respectfully submitted,

Gwen A. Jonik  
Planning Commission Secretary

# **Upper Uwchlan Township Historical Commission**

**241 Park Road Conditional Use and Land Development Plan Applications and  
Land Development Plan: Impact on Historic Resources — As Updated Through  
March 28, 2024 w/ April 2, 2024 Approved Recommendations**

**For April 2, 2024 Meeting — Prepared 3/28/2024 by Vivian S. McCardell, Chair Historical Commission**

## **Conditional Use Application and Impact Statement & Preliminary Land Development Application and Plan**

- Planebrook Partners, LLC (Scott Risbon, Managing Partner) submitted Conditional Use Application and Impact Statement, dated December 6 and 4, 2023, respectively, and Preliminary Land Development Application and Plan, dated December 1 and 13/14 respectively, for 241 Park Road
- Submissions propose following actions:
  - Consolidate two parcels
  - Demolish existing house and outbuildings
  - Construct daycare facility with play area
  - Add parking for 39 vehicles and access from Park Road
  - Add sidewalk along Park Road
- Property is located in C-1 Village Zoning District
- New daycare building would be 6,000 square foot, two story facility with total gross floor area of 12,000 square feet and separate play area of 3,000 square feet
- Anticipated capacity of 120 to 125 children and 20 employees operating Monday through Friday
- Daycares are permitted with conditional use approval under Township zoning ordinances

## **Preliminary Land Development Plan — Township's Review and Applicant's Responses**

- Township's consultants (including Brandywine Conservancy) reviewed Preliminary Land Development Plan and provided results in a letter, dated January 5, 2024, to Applicant. The review letter was not available for consideration during the Historical Commission's January 3, 2024 meeting
- Applicant submitted revisions to its Preliminary Land Development Plan, along with a letter, dated March 11, 2024, in response to Township's review and Historical Commission's recommendations
- Relevant portions of this Summary have been updated to reflect consultants' comments and Applicant's responses and revisions. Updates are shown in red.
- Applicant has also requested a waiver from Historic Resources Impact Statement required under SALDO Section 162-9H(5)(a)

# 241 Park Road

- 241 Park Road house first appears as historic resource on Township's Historic Map Update, dated April 9, 2007 and 2008 Historic Resource Inventory list as historic resource #164 without any categorization as Class I or Class II
- 241 Park Road house is one of 56 new, 50+ year old sites reflected on Township's Historic Map Update and 2008 Inventory without categorization or any supporting files
- House is small frame building that first appears on historic aerials in 1951
- 241 Park Road is across street from historic Windsor Baptist Church complex (historic resources #s 84 and 85) and adjacent to historic resource #165, another new site from 2007/2008

# Is Historic Resources Impact Statement Required?

- Section 162-9H(5)(a) — Historic Resources Impact Statement Applicability
  - Unless waived, historic resources impact statement required when any action listed below proposed within 250 feet of historic resource as identified in Township's Historic Resource Inventory
  - Actions requiring historic resources impact statement include (among other things)
    - ▶ Subdivision or land development plans which lead to new construction of buildings, structures, roads, driveways, parking area, etc.
    - ▶ Subdivision or land development plans which propose adaptive reuse or demolition of historic resources as identified in this chapter
    - ▶ Other land development, land disturbances, or exterior structural alteration
    - ▶ Any conditional use application
- Section 162-9H(5)(c) — Impact statement must be prepared by qualified professional in historic preservation, historical architecture, planning or related disciplines and presented for discussion at an Historical Commission meeting
- Section 162-9H(5)(e) — Impact statement must be reviewed by Historical Commission and its evaluation and recommendations provided in written report

## Is Historic Resources Impact Statement Required?

- If 241 Park Road is within 250 feet of historic Windsor Baptist Church or its parsonage (historic resources #s 84 and 85, respectively, on Township's Historic Resource Inventory), historic resources impact statement is required since conditional use application submitted and land development plan proposes construction of new building, driveway, parking area, etc., unless waiver is requested and waiver approved by BoS — ***It has been confirmed that 241 Park Road is not within 250 feet of historic Windsor Baptist Church***
- Historic resources impact statement may also be required even if 241 Park Road is more than 250 feet from Windsor Baptist Church or parsonage because 241 Park Road house is “identified” in Historic Resources Inventory, although without categorization or supporting files — ***Subsequent discussions with Township Secretary show stronger basis for 241 Park Road not formally added to Inventory and questionable if “identified” in accordance with requirement since ordinance cites 2001 Inventory***

## May BoS Waive Historic Resources Impact Statement?

- Applicant requests waiver of historic resources impact statement requirement as property not within 250 feet of Windsor Baptist Church, existing house recently built in 1951 and house's lack of architectural significance, as noted by Historical Commission
- Section 162-9H(5)(a) provides BoS (or Zoning Hearing Board, if applicable) may modify historic resources impact statement requirements, when specific requirements are determined not applicable to preliminary subdivision or land development application
- Given HC's recommendation that existing house may be demolished, purpose of historic resources impact statement in this situation would be to inform all parties of significance and impact to historic resources on tracts immediately adjacent to 241 Park Road as required under Section 162-9H(5)(d) in an effort to lessen impact of proposed new building on those historic resources. In this case, those historic resources would be Windsor Baptist Church and its parsonage
- Since 241 Park Road house not included in 2001 Historic Resources Inventory and uncertainty if later formally added to Inventory, as long as proposed new building complies with Section 200-36 C-1 Village District design standards and landscaping added to facade facing Park Road to shield it from view, appears to be basis for waiver.

## **May 241 Park Road House be Demolished under C-1 Village District Ordinances?**

- Ordinance Section 200-36A — Preservation of Historic Resources
  - Within C-1 Village District, historic structures and other historical resources, including historic ruins or sites... shall be preserved to the greatest degree practicable
  - Within C-1 Village District, no historic structure shall be removed or demolished except where approved by Township, upon recommendation of Planning Commission and Historical Commission
  - Township approval of demolition requests shall not be unreasonably withheld where applicant demonstrates renovation or reuse of subject structure is not practicable
- If 241 Park Road house is considered “historic structure,” it may only be demolished if approved by Township upon recommendation Planning and Historical Commissions
- Section 200-7 defines “historic structure” as structure that is (among other things), individually listed on local inventory of historic places in communities with certain certified historic preservation programs
- Although unclear if 241 Park Road house is “listed” on specified local inventory and falls within “historic structure” definition, due to its relatively recent 1951 building date and lack of architectural significance, Historical Commission may have no objection to its demolition

# Does Proposed Daycare Center Comply with C-1 Village District Design Standard Ordinance Requirements?

- Section 200-36B(1)(a),(b),(c),(2) — Architectural Design
  - (1) To extent practicable, all new construction and/or additions to existing structures within C-1 Village District shall be designed with either traditional village architectural character or may be contemporary expression of traditional styles and forms, respecting scale, proportion, roof pitch, character, and materials of historic examples in Byers, Eagle and surrounding area, in accordance with following standards — Brandywine Conservancy noted proposed building sits on very edge of Turnpike sub-area for 2014 Village Concept Plan, which envisions this area being used for larger scale commercial use, as well as office buildings and light industrial uses. While appears to align with general goals of 2014 Plan, it does sit at edge of an designated for heavier land uses. As such, should ensure plant material chosen for southern property boundary is appropriate and would provide adequate screening between two uses. BC also noted that Township should ensure applicant is in compliance with applicable design standards in Section 200-36, including that the structure be designed with either traditional village architectural character or be a contemporary expression of traditional styes and forms. Given proximity of Windsor Baptist Church, BCV also suggests HC review plans and drawings. In addition, Township might consider getting advice from Township's Historic Resource Consultant —:
    - (a) Where any individual building facade (or adjoining facades which abut flush to same building line) visible from any public right-of-way or public space...and exceeds 60 feet in length, there shall be clear dimensional differentiation of roofline (i.e., obvious difference in height) and/or offset in face of at least 10 ft, effectively breaking single facade into two or more facades each no more than 60 ft in length. Where approved by BoS as conditional use, single faces greater than 60 ft may be permitted, where applicant demonstrates to satisfaction of BoS that design of building and relationship to surrounding buildings and landscaped areas mitigate any negative impacts of long continuous building facades on character of C-1 Village District. Mitigating factors may include design which emulates characteristic historical building forms which typically included relatively long individual facade lengths such as barns, stables, churches, meeting houses, or other public buildings. Building arrangements which rely on repeated use of same long facade element shall not be approved — **Consultant found this requirement not met b/c facade facing Park Road is 100 ft without any break and stated conditional use approach would be needed. Applicant responded architectural plan will be provided to show compliance at time of Conditional Use hearing.**
    - (b) New construction shall generally have pitched roofs with overhanging eaves
      - Where flat roofs are provided, they shall be articulated with parapets and cornices.
      - Desired materials on pitched roofs include slate (natural or manmade), shingle (wood or asphalt composition) and metal formed to resemble "standing seams" — **Pitched roof of asphalt shingles**
      - Roof color should reflect local traditional use of color, and shall specifically exclude white, tan or blue shingles, red clay tiles, and corrugated metal or other corrugated material — **Roof color charcoal**
      - Use of fascias, dormers, and gables is encouraged to provide visual interest

## Does Proposed Daycare Center Comply with C-1 Village District Design Standard Ordinance Requirements?

- ▶ (c) Exterior wall materials may include stucco, wood clapboard (including vinyl or aluminum imitation clapboard siding), native stone, brick or other material of shape, color and texture similar to that found on historic structures in vicinity — ***Building in three levels with different treatments and drywall stone “stacks” on front and back (upper level: straight cut siding in warm clay color; middle level: horizontal siding in weathered cliff color; lower level: board and batten siding in weathered cliff color)***
- (2) For all principal and/or accessory uses... applicant shall provide drawings of sufficient detail to illustrate character of intended exterior design of structures, including scale, height, roof pitch, relationship between varying facade elements, and other principal exterior materials
  - ▶ Township may require material samples also be provided
  - ▶ It shall be burden of applicant to demonstrate that submitted architectural designs are consistent with, and promote, purposes and standards set forth for C-1 Village District

## Does Proposed Daycare Center Comply with C-1 Village District Design Standard Ordinance Requirements?

- Under C-1 Village District Ordinances, proposed daycare center must comply with design standards for new construction
- Before approval of land development plan, as required under Township Ordinance Section 200-36, Planebrook Partners, LLC should demonstrate that its submitted architectural designs for proposed daycare center are consistent with, and promote, purposes and standards set forth for C-1 Village District, including, but not limited to, providing more details about proposed design and sample materials — ***More information has been provided, but questions remain: How does proposed building reflect “traditional village architectural character or contemporary expression of traditional styles and forms...of historic examples in Byers, Eagle and surrounding area”? HC finding it difficult to see how this requirement is met. For instance, proposed building is massive with “long” 100 ft side (at this point without breaks as required under zoning ordinances) facing Park Road and much larger than historic examples, unless barn or church. What are skinny stacked stone portions intended to convey? Why three different types siding?***
- In addition, more information is needed to determine if proposed signage and exterior building art (duck tracks) comply with C-1 Village District signage requirements of Ordinance Section 200-98H and other applicable sections — ***Duck tracks no longer part of design, not sure if information provided on signage***

# Approved Recommendations for April 2, 2024 HC Meeting

## Background:

- Planebrook Partners, LLC submitted a Conditional Use Application and Impact Statement and Preliminary Land Development Application and Plan for 241 Park Road which is located in the C-1 Village Zoning District and Historical Commission approved recommendations on the Conditional Use and Plan during its January 3, 2024 meeting
- Planebrook Partners, LLC proposes to consolidate two parcels, demolish the existing house and outbuildings, construct a 2-story 12,000 sq. ft daycare facility with a 3,000 sq. ft play area for 120 to 125 children and 20 employees, add parking for 39 vehicles, access from Park Road and a sidewalk along Park Road
- Daycares are permitted with conditional use approval by Board of Supervisors under Township zoning ordinances
- The 241 Park Road house is historic resource #164, first seen on Township's 2007 Historic Map Update and 2008 Historic Resource Inventory (but without categorization or supporting files), located adjacent to historic resource #165 (also first seen on 2007 Historic Map Update and 2008 Inventory) and is across the street from the Windsor Baptist Church Complex (historic resources #s 84 and 85)
- Township Ordinance Section 162-9H(5) requires an applicant to provide an historic resources impact statement under certain circumstances to better inform the Planning and Historical Commissions and the Board of Supervisors on the proposed project and Section 200-36 protects "historic structures" from demolition, unless approved by the Township (upon recommendations from Planning and Historical Commissions) and provides design standards for new construction
- Planebrook subsequently submitted a revised land development plan and responses to the Township's review of its initial submissions, which included a request for a waiver of the historic resources impact statement requirement and removal of the exterior art work (the duck tracks)

## Recommendations to Planning Commission and Board of Supervisors, as applicable:

- Approve daycare center as conditional use
- Since the 241 Park Road existing house is not within 250 feet of Windsor Baptist Church or the parsonage, the house is of relatively recent vintage and lacks architectural significance, is not included in the 2001 Historic Resources Inventory and there is uncertainty if it was later formally added to the Inventory, as long as the proposed new building complies with the Section 200-36 C-1 Village District design standards and the side facing Park Road is landscaped to shield it from view, the historic resources impact statement may be waived
- Although it is unclear if 241 Park Road house is a protected "historic structure" under Section 200-36, due to its relatively recent 1951 building date and lack of architectural significance, the house (and more modern outbuildings) may be demolished
- Request that Planebrook Partners, LLC explain how its architectural designs for the proposed daycare center are consistent with, and promote, purposes and standards set forth for the C-1 Village Zoning District, including, but not limited to, by providing more information about how the proposed design reflects the "traditional village architectural character or contemporary expression of traditional styles and forms...of historic examples in Byers, Eagle and the surrounding area" (e.g., what the massive size, stacked stone portions and three different types of siding contribute) and reducing the 100 foot facade facing Park Road to less than 60 feet or inserting "breaks" as required under Section 200-36B
- If not already provided, request that Planebrook Partners, LLC provide more information on the proposed signage to determine if it complies with the C-1 Village Zoning District signage requirements under Ordinance Section 200-98H and other applicable signage sections



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

April 5, 2024

File No. 23-12026

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
140 Pottstown Pike  
Chester Springs, PA 19425

Reference: 241 Park Road  
Preliminary Land Development Review  
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents prepared by Commonwealth Engineers, Inc. unless stated otherwise:

- Letter to the Board of Supervisors dated February 14, 2024 granting a time extension for plan review;
- Letter of Transmittal for 241 Park Road Preliminary/Final Land Development Plans submission to Upper Uwchlan Township dated March 13, 2024;
- Letter to Upper Uwchlan Township dated March 11, 2024 responding to G&A's January 5, 2024 review letter;
- Letter to Upper Uwchlan Township dated March 11, 2024 outlining waiver requests;
- Letter from Aqua to Commonwealth Engineers Inc. dated November 20, 2023 confirming water service;
- "Post Construction Stormwater Management Plan Narrative prepared for 241 Park Road" dated December 4, 2023 and revised March 11, 2024;
- Plan set consisting of fifteen (15) sheets titled "Preliminary/Final Land Development Plans for 241 Park Road" dated December 4, 2023 and revised March 11, 2024;
- Plan sheet titled "Post Development Drainage Area Plan" dated December 4, 2023 and revised March 11, 2024;

- Plan sheet titled "Pre Development Drainage Area Plan" dated December 4, 2023 and revised March 11, 2024;
- Traffic Impact Assessment Child Day Care Center – 214 Park Road, dated March 12, 2024, and prepared by Heinrich & Klein Associate, Inc.;
- Architectural plans consisting of two (2) sheets titled "Schematic 241 Park Road" dated March 7, 2024;

The subject site is comprised of two (2) parcels (TMP 32-4-37 and TMP 32-4-38.8) located at the intersection of Park Road and Ticonderoga Blvd. The property is located in the C-1 Village Commercial Zoning District.

G&A, as well as other Township Consultants, has completed our second review of the above referenced preliminary land development application for compliance with the applicable sections of the Township's Zoning Ordinance, Subdivision and Land Development Ordinance, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

Please note that for the Township Engineers portion of the letter, comments with a **(V)**, **(RW)** or a **(W)** may require relief from the Township Ordinances. A **(V)** denotes a variance may be required or has previously been granted, a **(CU)** denotes conditional use, an **(RW)** denotes a requested waiver, and a **(W)** denotes a waiver that has not been requested, but we believe is required. Comments in *italics* are from our previous review letter, and comments in **bold text** require resolution from the applicant. Previous comments that have been satisfactorily addressed are not repeated herein.

## I. OVERVIEW

The Applicant is proposing to consolidate two existing lots and construct a 6,000 SF (footprint) two-story building with outdoor play areas, parking and stormwater management in the C-1 Village District. The parking area has access from Park Road. The total impervious surface coverage onsite is approximately 20,359 square feet, and the total proposed disturbance for the construction is approximately 0.865 acres. Two underground infiltration beds, inlets and piping are proposed to control the runoff from the proposed improvements. Retaining walls approximately 3.5-feet in height at their maximum are proposed along three sides of the property. There are no floodplains on the site.

## II. ZONING OFFICERS COMMENTS

The Applicant should provide sufficient information supporting the proposed reduction in parking.

**III. TOWNSHIP ENGINEER COMMENTS – ZONING ORDINANCE  
GILMORE & ASSOCIATES**

1. (CU) §200-33.B.(3) – A daycare center is permitted as a principal use when authorized by conditional use by the Board of Supervisors. The applicant is seeking conditional use approval.
2. (CU) §200-36.B.(1)(a) – Where any individual building facade is visible from any public right-of-way and exceeds 60 feet in length, there shall be a clear dimensional differentiation of roofline and/or an offset in facade of at least 10 feet, effectively breaking the single facade into two or more facades each no more than 60 feet in length. Where approved by the Board of Supervisors as a conditional use, single facades greater than 60 feet in length may be permitted in accordance with this section. The building façade facing Park Road is 100-feet in length and no break is proposed. Therefore, approval by conditional use is required.

The response letter states that architectural plans will be provided to show compliance at the Conditional Use hearing.

3. §200-36.B.(1)(b) – The architectural rendering indicates a pitched roof. Desired materials on pitched roofs include slate (either natural or man-made), shingle (either wood or asphalt composition), and metal formed to resemble "standing seams." Roof color should reflect local traditional use of color, and shall specifically exclude white, tan, or blue shingles, red clay tiles, and corrugated metal or other corrugated material. The use of fascias, dormers, and gables is encouraged to provide visual interest. The applicant shall provide information on the roofing to show compliance with these requirements.

The response letter states that information regarding the roof color and material will be provided at the Conditional Use hearing.

4. §200-36.B.(1)(c) – Exterior wall materials may include stucco, wood clapboard (including vinyl or aluminum imitation clapboard siding), native stone, brick, or other material of a shape, color, and texture similar to that found on historic structures in the vicinity. The applicant shall provide information on the exterior wall materials to show compliance with these requirements.

Architectural plans have been provided that show the proposed exterior wall material. We defer to the Board of Supervisors regarding this.

5. §200-36.B.(1)(d) – All facilities and equipment for heating/air conditioning, trash collection and compaction, and other structural elements not in keeping with historical architectural themes shall be concealed architecturally or otherwise screened from view from any public right-of-way or public space. The applicant shall clarify where HVAC equipment is located to determine if screening is required.

A fence detail has been provided for the fence surrounding the outdoor play areas. Note #2 in the Vinyl Privacy Fence Detail on Sheet 8 states that the fence height is "designated on the plan"; Sheet 2 notes "Proposed 6' Privacy Fence (Typ.)". **The detail shall be revised to specify a 6-foot fence.**

6. §200-36.B.(2) – *For all principal uses permitted by conditional use approval, applicant shall provide drawings of sufficient detail to illustrate the character of the intended exterior design of structures, including scale, height, roof pitch, relationship between varying facade elements, and principal exterior materials. The Township may require that material samples also be provided. It shall be the burden of the applicant to demonstrate that submitted architectural designs are consistent with, and promote, the purposes and standards set forth for the C-1 Village District.*
7. §200-36.B.(3) – *Where the Board of Supervisors determines that architectural design, as presented by applicant, is an essential means by which the proposed use will comply with the purposes and standards set forth for the C-1 Village District, as a condition of approval of any conditional use, the Board may require adherence to the intended architectural character as proposed by the applicant.*
8. §200-36.D. – *Streetscape landscaping and pedestrian amenities shall be provided as necessary to meet overall village planning objectives and shall be coordinated with adjacent properties. Where appropriate, the Township may require any of the amenities outlined herein, including provision for their regular upkeep and maintenance. We defer to the Township Planning Commission and Land Planner in this matter.*
9. §200-64.A. – *The minimum lot area for each child shall be 1,000 square feet, but no lot containing a day-care center shall be less than 30,000 square feet. The Conditional Use Impact Statement states an anticipated capacity of 120-125 children; therefore, the minimum lot area is 120,000 SF to 125,000 SF. The proposed lot area is 34,000 SF, which appears to be inadequate.*
10. §200-64.B. – *There shall be an indoor play area of 50 square feet per child and an outdoor play area of 75 square feet per child provided. The Conditional Use Impact Statement states an anticipated capacity of 120-125 children. Therefore, 6,000 SF to 6,250 SF of indoor play area is required. The outdoor play area is required to be 9,000 SF to 9,375 SF; a 3,000 SF outdoor play area with a 900 SF infant outdoor play area are proposed. The play areas appear to be inadequate.*

The response letter states that this shall be addressed at the Conditional Use Hearing, and that the applicant will comply with state guidelines.

The response letter states that this shall be addressed at the Conditional Use Hearing, and that the applicant will comply with state guidelines.

11. §200-64.C. – The outdoor play area shall be fenced on all sides, and fencing shall be a minimum height of four feet.

A fence detail has been provided. Note #2 in the Vinyl Privacy Fence Detail on Sheet 8 states “fence height shall be either 4 and 6 feet where designated on the plan”; Sheet 2 notes “Proposed 6' Privacy Fence (Typ.)”. **Note #2 should be revised to state 6 feet.**

12. §200-64.D. – *Off-street parking spaces shall be in accordance with §200-73. In addition, during the Conditional Use hearing, it should be discussed how the discharge and pickup of children shall be handled.*

The response letter states that this shall be addressed at the Conditional Use Hearing.

13. §200-64.E. – *The facility shall be licensed by the applicable departments of the Commonwealth of Pennsylvania and their regulations.*

14. §200-73.B.(2). and §200-74. – *Please indicate where delivery vehicles are intended to park.*

The response letter states that delivery trucks are limited to local carriers who will utilize the proposed parking spaces. **We would recommend one parking space be designated as a “Delivery Space.”**

15. (CU) §200-73.K.(2) and (4) – *Where any use or activity is subject to application for approval of a conditional use, modification(s) to the provisions of this section may be requested as part of such application. In approving any application pursuant to Subsection K(2), the Board of Supervisors, as a condition of approval of such application, may permit specific modification(s) to the provisions of this section subject to the conditions outlined in K(4). The applicant does not provide the required number of parking spaces (50) and is seeking a modification to reduce the number provided (39).*

The response letter states that a traffic study has been prepared and that this shall be addressed at the Conditional Use Hearing. We defer to The Township Traffic Engineer on this matter.

16. §200-93. – *The applicant shall clarify what signage is proposed.*

Proposed signage is shown on the plans, and building mounted signage is indicated on the architectural plans. We defer to the Zoning Officer regarding proposed signage.

**IV. TOWNSHIP ENGINEER COMMENTS – SUBDIVISION AND LAND DEVELOPMENT ORDINANCE - GILMORE & ASSOCIATES**

1. **(RW)** §162-7.B.(2) – A waiver is being requested to allow preliminary and final plan submission. Due to the scope of the project, we have no objection to this request.
2. **§162-9.B.(1)(b) – Provide a legal description for the consolidated lot.**
3. **§162-9.B.(2)(b)[18] – Location and elevation of the datum to which contour elevations refer shall be stated, and the datum used shall be a known established benchmark. Provide the benchmark used.**

Benchmark is indicated as an existing 1-inch iron pin. **Provide a known established benchmark.**
4. **(RW)** §162-9.H.(1)(b) and §162-9.H.(5) – We defer to the Township's Historical Commission whether an Historic Impact Statement is required.

A waiver from the Historic Impact Statement is being requested.
5. **§162-9.H.(4) – All of our previous comments regarding the fiscal impact statement have been adequately addressed in the engineers response letter. However, the impact statement itself should be updated with this information and submitted.**
6. **§162-49.D – Wherever a public or community water system is provided, fire hydrants or acceptable alternatives shall be installed for fire protection. We note the plans show a fire hydrant on the opposite side of Park Road. We defer to the Fire Marshal.**
7. **§162-55.B.(2) – No specimen tree(s) shall be removed from any lot or tract except where the applicant demonstrates to the satisfaction of the Board of Supervisors that such removal is essential to eliminate hazardous condition(s) or otherwise permit lawful use of the lot or tract; where permitted, removal of specimen trees shall be minimized. It appears some specimen trees are proposed to be removed. This should be discussed with the Planning Commission.**
8. **(RW)** §162-55.B.(7) – Replacement trees are required for each tree greater than six inches dbh removed. Based on the size and number of trees proposed to be removed, either four (4) replacement trees (at 4-6.5" caliper) or twenty-three (23) replacement trees (at 3-3.5" caliper) are required to be planted and are in addition to other required landscaping.

The applicant is requesting a waiver from this requirement.

9. **(RW)** §162-57.C.(7) – *The interior of each parking area shall have at least one shade tree for every five parking spaces. Based on 39 proposed spaces eight (8) shade trees are required but only four (4) are proposed. A waiver has been requested from this requirement.*

10. **(RW)** §162-57.D.(1) – *Per 1,000 SF of gross building area two (2) deciduous trees, one (1) evergreen tree and eight (8) shrubs are required to be planted and are in addition to any required replacement plantings due to woodland disturbance. Based on the 6,000 SF proposed building 12 deciduous trees, 6 evergreen trees and 48 shrubs are required. The applicant is requesting a waiver from providing 12 deciduous trees and 6 evergreen trees. (48 shrubs are provided.)*

11. **(RW)** §162-57.D.(1) – *Per 100 linear feet of existing tract boundary where not coincident with existing road frontage, 1 deciduous tree 2 evergreen trees and 8 shrubs are required. Based on the eastern and southern property lines linear footage, 4 deciduous trees, 8 evergreen trees and 32 shrubs are required. The applicant is requesting a partial waiver from providing 3 evergreen trees (5 are provided) and 2 shrubs (30 are provided). The applicant is requesting a waiver from this requirement.*

12. §162-58.C(1) – Illumination levels: Building Entrance light levels are not provided. Levels shall be in accordance with IES RP-43-22.

13. §162-58.C(1) – Illumination levels: Sidewalk light levels are not provided. Levels shall be in accordance with IES RP-43-22.

14. §162-58.C(2)(d) – Light fixtures shall be equipped with shielding devices to reduce glare and light spill. It appears that significant light spill is proposed where SL-3 light fixtures are directly adjacent to the neighboring properties. Backlight shields shall be utilized to reduce the spill to the extent possible. Note #6 also indicates that lights shall be “effectively shielded from neighboring properties”, however it does not appear that backlight shielding is proposed.

15. §162-58.C(2)(h) – 3000K color temperature shall be utilized in commercial areas. Catalog numbers provided in the lighting schedule on sheet 11 of 15 appear to indicate that 4000K color temperature fixtures are proposed.

16. §162-58.C(3)(d) – Requires lights to be extinguished after 11 PM. Note #7 on sheet 11 of 15 indicates that lights would be reduced by 75%, although note #4 indicates that “lights shall be controlled as per local codes”. Clarification shall be provided.

17. §162-58.C(4)(b) – Light poles shall be a minimum of five feet (5') outside paved area or on pedestals thirty inches (30") high above the pavement. It is noted that the Base Detail provided on Sheet 11 of 15 does not address the location of the pole bases as they relate to the adjacent paved parking area. Plan and detail shall be revised accordingly to provide the required

setback or modified pole base. Also see General Comment regarding coordination between light pole base locations and proposed retaining wall structures.

18. §162-58.D(1)(a) – Site plan shall show all lighting including building and architectural lighting. The plan does not indicate any additional lighting beyond the proposed area lights. The applicant shall verify that no additional architectural lighting is proposed.
19. §162-58.D(1)(a) – The lighting plan should be revised to show proposed plantings or the landscaping plan should be revised to show proposed lighting to verify that there are no conflicts.
20. §162-58.D(1)(c) – Plan shall include fixtures and pole cut sheets.
22. §162-58.D(3)(o) – Wall mount fixtures shall not be used to provide area lighting unless it can be demonstrated that pole mounted lights are not possible. A majority of the site lighting appears to be accomplished by utilizing seven (7) wall mounted fixtures mounted at an unknown mounting height. Pole mounted fixtures shall be utilized.

**V. STORMWATER MANAGEMENT ORDINANCE REVIEW**

1. §152-110. – The applicant shall post financial security to the municipality for the timely installation and proper construction of all stormwater management facilities as required by the approved SWM site plan and this chapter.
2. **(RW)** §152-306.J(3) – *Setbacks from property lines and rights-of-way for all infiltration practices are to be consistent with accessory structures in the Zoning Ordinance, for the applicable zoning district. Note that the Zoning Ordinance states that no accessory structure shall be located within the front yard, nor within 10-feet of any rear or side lot line. SB-2 is located within the front yard setback from Ticonderoga Blvd.*

The applicant is requesting a partial waiver from this requirement.

3. §152-306.O. – Provide maintenance procedures for the Snout devices in the Stormwater O&M plan.
4. §152-402.F.(2) and §152-701.D.(1), (2) and F(1) and (2), and §152-703.A. – *An Operation and Maintenance agreement shall be prepared and submitted to the municipality for review and approval. The Stormwater Management Plans and the agreement shall be recorded.*
5. §152-702.D. and §152-702.E. – *The statements in these sections shall be added to the Stormwater Management Plan.*

6. Verify the 51 LF fully perforated pipe dimension in the SB-1 detail, as the pipe outside the bed (i.e., pipe segments from Inlets 101 and 102 to SB-1) should not be perforated.
7. Fencing is proposed along the edge of SB-2. The detail indicates the fence line posts are 36-inches below grade minimum, with concrete 10-inches minimum diameter. The fence should be adjusted to avoid conflict.
8. Add the "Blanket Stormwater Management Easement" to the Stormwater Management Plan (Sheet 7).

## **VI. GENERAL COMMENTS**

1. *A preliminary design shall be provided for the retaining walls to verify that any required tie-backs will not conflict with the adjacent FedEx property.*  
The retaining walls are now indicated to be rock landscape walls. **Provide details for the proposed rock retaining walls. In addition, it appears at least a temporary construction easement will be needed from FedEx for their installation.**
2. *Detail how the level spreader (3-feet deep) will be constructed directly adjacent to the retaining wall.*

### **Provide details for the proposed rock retaining walls.**

3. *Remove reference to the Conservation District from the Sequence of Construction.*  
**Remove references to the "Local Conservation District" and "the Department" from the Standard E&S Control Plan Notes #2, #4 (replace with Township), #9 (replace with Township), #11 (replace with Township), #16 (replace "regulatory agency officials" with Township), #29 (replace with Township), #30 (replace with Township), #32 (replace with Township) on Sheet 13. Replace "Chester County Conservation District" with "the Township" in the Erosion Control Plan Revision Note (Sheet 13).**
4. Existing features to be removed (TBR) should not be shown on any proposed conditions plans. Currently existing features TBR are shown on most proposed conditions plan sheets.
5. Provide a detail for the roof drain connection into the perforated piping in SB-2.
6. It appears there is a significant drop off between the edge of sidewalk and the top of curb at the bend in the sidewalk along Park Road. At a minimum, fencing should be provided and possibly a small retaining wall.

7. Two (2) SL3 light fixture locations appear to conflict with the proposed retaining wall. Locations shall be coordinated.
8. Lighting Plan scale is noted as 1"=50'; however, the plan appears to be scaled at 1"=20'.

**VII. TOWNSHIP TRAFFIC CONSULTANT COMMENTS**  
**BOWMAN**

1. SALDO Section 162-9.H(1)(a) – Based on the results of the traffic study, the traffic generated by the proposed development can be accommodated at the study intersections without the need for any off-site traffic improvements. Furthermore, auxiliary turn lanes are not warranted at the site access intersection based on PennDOT guidelines.
2. SALDO Section 162-27.1 – This project is located within the C1 zoning district and is subject to the Township's access management standards. Based on the plan, we offer the following comments with respect to these standards:
  - a. Section 162-27.1.K(1) – The plans include truck turning templates at the access and within the site for a delivery truck and trash truck. The plans do not include turning templates for a fire truck. The applicant's engineer indicates that fire trucks are not able to turn around within the site, and instead, it is the applicant's position that based on the location of the building, fire response will occur from Park Road and Ticonderoga Boulevard. This approach should be reviewed with the Township's emergency service personnel.
  - b. We understand that Windsor Baptist Church may be proposing an expansion to their existing facilities, and we previously requested the applicant coordinate with Windsor Baptist regarding any proposed roadway improvements that should be considered for planning purposes between the two developments. Regardless, the proposed day care access is acceptable in our opinion; however, the applicant should inform the Township whether there has been any coordination with Windsor Baptist Church.
3. SALDO Section 162-36 – Provide a typical road widening section of the proposed widening along Park Road that includes the following information:
  - a. The existing Park Road pavement edge.
  - b. A two-foot sawcut line into the existing pavement.
  - c. The proposed pavement section for the widening, which meets the Township's pavement specification.

- d. Mill and overlay of Park Road to the double yellow center line.
- e. The proposed five-foot wide sidewalk.

4. The plans show replacement of all curb along Park Road as part of the proposed widening, except for a short 15-foot section of curb near the corner with Ticonderoga Boulevard. This additional section of curb should also be replaced as part of the proposed widening and curb ramp work.

5. Modify the grading at the southern driveway radius in order to end the curb at the PC and remove the short section of curb which ties into the existing edge of road.

6. There appear to be several signs along the Park Road site frontage that must be relocated to accommodate the proposed driveway, the Park Road widening, and sidewalk. In addition, it appears that at least one utility pole relocation is required. The plans should show the relocation of these signs and utility poles, as needed.

7. ZO Section 200-73.H and 200-73.K – The proposed daycare requires one parking space per 300 square feet of gross floor area, and one parking space per employee, which equates to 50 parking spaces (i.e., 40 parking spaces for the building size, plus 10 parking spaces for the employees) as outlined in the parking tabulation on sheet 1. However, the plans propose a total parking supply of 39 parking spaces, and the applicant requests a modification of the parking requirements per ZO Section 200-73.K to allow a reduction in the required parking supply. Prior to the Township rendering a decision on this requested parking supply reduction, the applicant should provide technical justification to support the proposed parking supply. Furthermore, the Township Solicitor should review the requested parking reduction based on the requirements described in Section 220-73K.

8. ZO Section 200-75.H(3) – The following comments pertain to the sight distance plans for the proposed site access intersection shown on sheet 14:

- a. The sight line for left-turn entering vehicles looking ahead should be revised to start at a location 35 feet east of the centerline of the proposed driveway. In addition, this sight line should extend to a point 324 feet west of the centerline of the proposed driveway in the center of the eastbound Park Road travel lane.
- b. The plan view should be revised to show the grading contours for the proposed regarding in order to determine whether the regrading can be achieved within the existing legal right-of-way, or whether a grading easement will be necessary along the adjacent property (Parcel No. 32-3-69.4).

9. The ADA curb ramp on the southeast corner of the Park Road/Ticonderoga Boulevard should be revised to a Type 1 curb ramp, as opposed to a Type 1A curb ramps as currently shown. In addition, we continue to recommend the receiving ramp on the northeast corner should also be upgraded to meet current ADA requirements. Detailed curb ramp designs should be provided for review. As previously requested, the detailed designs for these ramps should include separate grading details (including spot elevations at all proposed grade changes), and all dimensions, including widths, lengths, and all slopes to assist during construction. In addition, please label all proposed curb ramp types, and provide the appropriate PennDOT curb ramp details and notes on the detail sheets.
10. Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and as such, this development is subject to the Townships Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. As such, based on the trip generation calculations provided by the applicant's traffic engineer, the site will generate 34 new weekday afternoon peak hour trips. Furthermore, the existing home on the site would generate one new weekday afternoon peak hour trip, which can be credited against the total Transportation Impact Fee for the site. As such, the number of trips subject to the Township's Transportation Impact Fee is 33 and the resultant Transportation Impact Fee is **\$77,022.**

**VIII. TOWNSHIP PLANNING CONSULTANT COMMENTS  
BRANDYWINE CONSERVANCY**

1. As noted in our prior review letter, the applicant shows the landscape plan on the current topography of the site. We suggest the landscape plan incorporates the as-built topography for improved accuracy.
2. We note the changes in plant material choices from the last plan set. However, we suggest that consideration be given to replacing the boxwoods with the ink berries shown on other areas of the plan, or another alternative small native shrub.
3. For ease of referencing the plants shown on the landscape plan, the plant schedule should be placed on the same sheet, rather than on the next sheet.
4. It is unclear from the plans what is proposed for ground cover within the planting areas and around the building. While not clearly marked on the landscape plan, but seen on other plan sheets, it appears that a shallow depression will exist in the northwest corner of the property. If so, and this is part of the proposed stormwater management for the property, consideration should be given to incorporating native vegetation into this swale for added interest, improved infiltration properties, and enhanced environmental benefits. Turf grass provides little

environmental benefit and can, over time, limit infiltration. Could a mix of native grasses and perennial plugs be incorporated into what appears to be a stormwater swale?

5. The Conservancy recognizes that Inkberry is widely used in the landscaping plan already, and that choices for native evergreen shrubs are limited, but we encourage the applicant to seek an alternative native plant material for along the property boundary where the skip laurels are proposed.

In addition to the comments above, below I have listed again the general comments included in our first review.

6. The proposed development is located within the area identified in the 2014 Upper Uwchlan Comprehensive Plan's Future Land Use Map as Village, areas that would continue to be limited to residential infill that is consistent with current historic structures, considers adaptive reuse of historic buildings for residential purposes, and that consider open space, buffering, and pedestrian needs. More specifically, the proposed development falls within the Eagle Village-Village of Eagle/Byers Concept Plan of the 2014 Comprehensive Plan, an update to which is currently underway.

The 2014 Village Concept Plan identifies several planning objectives for the village, which include maintaining its visual integrity, preserving Class I and Class II historic resources, providing controlled access to Graphite Mine Road, ensuring traffic access management, enhancing interconnectivity for pedestrians, and providing consistent streetscapes and ample civic spaces throughout.

The proposed development sits on the very edge of the Turnpike sub-area for the 2014 Village Concept Plan, which envisions this area being utilized for larger scale commercial uses, as well as office buildings and light industrial uses.

While the proposed development appears to align with the general goals of the 2014 Village Concept Plan, it does sit at the edge of an area designated for heavier land uses. As such, the Township and applicant should ensure the plant material chosen for the southern property boundary adjacent to parcel 32-3-69.4 is appropriate and would provide adequate screening between the two uses.

7. The Brandywine Conservancy notes the applicant intends to seek modifications to the parking requirements under Section 200-73K of the Zoning Ordinance. Given the nature of the proposed use (pick-up and drop-offs at a day care facility tend to occur over a more prolonged time than at a traditional K-12 institution), the Brandywine Conservancy is in support of this modification request. However, the Township and applicant might consider exploring options for shared parking that might be utilized by staff who work at the day care center.

8. The Township should ensure the applicant has made every effort to conform to the landscaping requirements under Section 162-57 of the Township Code.
9. The Brandywine Conservancy notes the inclusion of a 5' pedestrian sidewalk along most of the frontage along Park Rd. This will provide for pedestrian access to the facility from nearby residential areas, such as the Townes at Chester Springs, reducing the need for additional vehicular trips and lowering parking needs at the site during drop-off and pick-up times. It also enhances the growing pedestrian network in the Township.
10. Given the proposed development is within the C-1 zoning district, the Township should ensure the applicant is in compliance with the applicable design standards set forth in Section 200-36 of the Township Code, including that the structure be designed with either a traditional village architectural character or be a contemporary expression of traditional styles and forms. Given the proximity of the development to Windsor Baptist Church, a historic resource in Upper Uwchlan Township, the Brandywine Conservancy suggests the Historical Commission review the plans and architectural drawings. In addition, the Township might consider seeking the advice of the Township's Historic Resource Consultant on the proposed schematic of the facility.

**IX. TOWNSHIP SEWER CONSULTANT COMMENTS  
ARRO CONSULTING, INC.**

1. The site is currently a single-family dwelling. Plans proposed the demolition of the existing single-family home and the construction of a two-story office daycare facility, a play area and parking lot. Based on discussions with the applicant's engineer, the anticipated building capacity is 120-125 children with approximately 20 employees. We estimate the anticipated usage to be 675 gallons per day (GPD) or three (3) equivalent dwelling units (EDUs). The required capacity will need to be purchased by the applicant. We recommend the Township reserve the right to review water usage in the future and require the purchase of additional sanitary sewer capacity if warranted.
2. Sewage facilities planning module (SFPM) approval will need to be obtained by the Pennsylvania Department of Environmental Protection (PADEP). The SFPM mailer package has been submitted the PADEP to review and approval.
3. The proposed lateral should connect into the sanitary sewer main not the terminal manhole.
4. An appropriately-sized grease interceptor shall be provided for any proposed kitchen facilities.
5. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

**X. TOWNSHIP FIRE MARSHAL COMMENTS**

1. What is the width of the entrance from Park Road into the parking lot and the aisle in the parking lot?
2. The property is served by fire hydrants on Park Road. Please provide the location of each and the distance from the proposed building to each of the fire hydrants.
3. The needed hydrant flow is 2,000 GPM @ 20 PSI residual pressure.

**XI. TOWNSHIP HISTORICAL COMMISSION COMMENTS**

1. Approve daycare center as conditional use.
2. Since the 241 Park Road existing house is not within 250 feet of Windsor Baptist Church or the parsonage, the house is of relatively recent vintage and lacks architectural significance, is not included in the 2001 Historic Resources Inventory and there is uncertainty if it was later formally added to the Inventory, as long as the proposed new building complies with the Section 200-36 C-1 Village District design standards and the side facing Park Road is landscaped to shield it from view, the historic resources impact statement may be waived
3. Although it is unclear if 241 Park Road house is a protected "historic structure" under Section 200-36, due to its relatively recent 1951 building date and lack of architectural significance, the house (and more modern outbuildings) may be demolished.
4. Request that Planebrook Partners, LLC explain how its architectural designs for the proposed daycare center are consistent with, and promote, purposes and standards set forth for the C-1 Village Zoning District, including, but not limited to, by providing more information about how the proposed design reflects the "traditional village architectural character or contemporary expression of traditional styles and forms...of historic examples in Byers, Eagle and the surrounding area" (e.g., what the massive size, stacked stone portions and three different types of siding contribute) and reducing the 100 foot facade facing Park Road to less than 60 feet or inserting "breaks" as required under Section 200-36B.
5. If not already provided, request that Planebrook Partners, LLC provide more information on the proposed signage to determine if it complies with the C-1 Village Zoning District signage requirements under Ordinance Section 200-98H and other applicable signage sections.

Mr. Tony Scheivert, Upper Uwchlan Township Manager  
Reference: 241 Park Road  
Preliminary Land Development Review  
Upper Uwchlan Township, Chester County, PA  
File No. 23-12026  
April 5, 2024

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This concludes our second review of the above referenced preliminary land development application. We would recommend the plans be revised to address the above referenced comments. If you have any questions, please do not hesitate to contact me.

Sincerely,

*David N. Leh*

David N. Leh, P.E.  
Vice President  
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors  
Upper Uwchlan Historic Commission  
Gwen Jonik, Township Secretary  
Kristin Camp, Esq., BBM&M  
G. Matthew Brown, P.E. – Upper Uwchlan Township Municipal Authority  
Rob Daniels, ASLA, Brandywine Conservancy  
Christopher J. Williams, P.E., McMahon Associates, Inc.  
David Schlott, P.E., ARRO Consulting, Inc.  
Victor Kelly, Jr., P.E., Commonwealth Engineers, Inc.  
Andrew Pancoast, 241 Park Avenue, LLC  
Scott Risbon, Planebrook Partners, LLC  
Mike Malloy, Esq. - Obermayer Rebmann Maxwell & Hippel LLP