



UPPER UWCHLAN TOWNSHIP
PLANNING COMMISSION
AGENDA

October 12, 2023
7:00 p.m.

LOCATION

Upper Uwchlan Township Building, 140 Pottstown Pike, Chester Springs PA 19425

- I. 7:00 PM Meeting Call To Order
- II. 164 Byers Road / QBD Ventures Preliminary / Final Land Development Plan
Review updated plan and consider recommending Final Plan Approval
- III. Meeting Updates ~ Reports
 - A. Environmental Advisory Council (EAC)
 - B. Historical Commission (HC)
 - C. Active Transportation Plan (ATP)
- IV. Approval of Minutes: September 14, 2023 Meeting minutes
- V. Next Meeting Date: November 9, 2023 7:00 p.m.
- VI. Open Session
- VII. Adjournment

October 4, 2023

Mr. Tony Scheivert, Township Manager
Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425

RE: QBD Ventures
Preliminary/Final Land Development Plan
Upper Uwchlan

Dear Mr. Scheivert:

This letter is being sent pursuant to Gilmore's review of the above referenced Plans by Howell Engineering dated 12/20/20, last revised 8/4/23 and their subsequent review letter dated 9/11/23.

Listed below are our responses to the concerns identified in the review of the plans. Also, enclosed for your review are copies of the update plan. Where applicable, Howell Engineering has addressed each of these comments indicating what action has been taken to resolve the issue.

III. Subdivision and Land Development

1. Acknowledged. No revision is necessary.
2. Acknowledged. No revision is necessary.
3. Acknowledged. No revision is necessary.
4. Acknowledged. No revision is necessary.

IV. Stormwater Management Ordinance Review

1. Acknowledged. No revision is necessary.
2. Acknowledged. No revision is necessary.
3. Acknowledged. The applicant will provide the agreement under separate cover.

VI. Township Traffic Consultant Comments

(McMahon Associates, Inc.)

1. Acknowledged. The application will provide a fee-in-lieu of to the Township.

VIII. Township Municipal Authority Consultant Comments

(ARRO Consulting, Inc.)

1. The plans have been updated to show the as-constructed conditions that were provided. Additionally, the provided lateral has been added to the plans in the location provided. A note has been added to the plan that the contractor shall field verify the location of the lateral.
2. Acknowledged. The applicant will purchase the required capacity.
3. Acknowledged. The applicant will provide financial security to the Township.

We appreciate your time and consideration.

Sincerely,
Howell Engineering

Dave Gibbons, PE
Senior Engineer



LANDSCAPE ARCHITECTS
PLANNERS | DESIGNERS

STUART & ASSOCIATES, LLC.
P.O. Box 62286
King of Prussia, PA 19406
P : 610.337.2100

September 28, 2023

Upper Uwchlan Township
Attn: Planning Commission
140 Pottstown Pike
Chester Springs, PA 19425

**RE: QBD VENTURES – 164 BYERS ROAD – LANDSCAPE WAIVERS
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PA
PRELIMINARY LAND DEVELOPMENT PLAN, DATED 09-28-2023**

Dear Planning Commission Members,

We are writing to elaborate on our Landscape Plan Waiver requests for the subject project.

We offer the following information with regards to the Waivers requested on Landscape Plans:

In order to provide a Landscape Plan in full compliance with Upper Uwchlan Township Ordinances, we would need to provide an additional 34 trees (18 large canopy shade trees and 16 evergreen trees) on the site. In our professional opinion, there is simply not enough available space to plant the additional 34 trees given the extents of the required parking lot paving, building, stormwater management piping and other underground utilities required to support the development of this parcel. There is also an existing access easement along the western boundary which restricts the planting of trees. We have provided additional shrubs and groundcover plantings where space permitted to compensate for the 34 trees.

Landscape Waiver Summary :

Shrubs required: 81
Shrubs proposed: 145 & 169 evergreen groundcover shrubs

Deciduous trees required: 28
Deciduous trees proposed: 10
Waiver requested for 18 deciduous trees.

Evergreen trees required: 19
Evergreen trees proposed: 3
Waiver requested for 16 evergreen trees.

Please contact our office with any questions.

Sincerely,

Patrick J. Stuart, RLA, MCRP, LLA



September 29, 2023

Upper Uwchlan Township Planning Commission
c/o Gwen Jonik, Township Secretary
140 Pottstown Pike
Chester Springs, PA 19425

Re: QBD Ventures Application for Preliminary/Final Land Development Approval at 164 Byers Road

Dear Commission Members:

QBD Ventures has owned the subject roughly 0.7 acre property since September, 2008. Shortly after acquiring the property, QBD submitted an application for Preliminary/Final Land Development Approval to demolish all of the existing structures on the site and construct a new two story, 2,200 SF building with a full basement thereon utilizing onsite water and sewer systems. On November 5, 2009 the Upper Uwchlan Township Planning Commission recommended approval of such a plan. On August 16, 2010 the Upper Uwchlan Township Board of Supervisors approved our plan, and on April 13, 2011 the Approved Plan was recorded in the Chester County Recorder of Deeds Office.

QBD has been unsuccessful in finding a user for the property since the original plan was approved. We had identified a candidate user who wanted to construct a child day care center on the site, but the lot was too small to enable the proposed facility to comply with all of the Commonwealth's rules and regulations governing such an operation to be complied with.

The passage of time, and the current availability of both public water and public sewer to service the site has required that QBD submit a new application for development on the subject property. Revised plans and an application for Preliminary/Final Land Development Approval to construct essentially exactly what was previously been approved, i.e. a new two story, 2,200 SF building with a full basement (however this time utilizing both the newly available public water and public sewer systems) were prepared and initially submitted to the Township on, or about, January 18, 2021. These plans were initially essentially duplicates of the originally approved application. The current version of these plans has now been updated following reviews and comments made by the Township's various consultants, staff, and Planning Commission to bring them into compliance with all modifications that have been made to the Township's governing ordinances since 2010, and were on the Planning Commission's 9/14/23 meeting agenda for review, and hopefully final approval. I,

5 Blue Sky Trail
Travelers Rest, SC 29690

unfortunately no longer reside on Horseshoe Trail in West Vincent Township (having retired and moved to South Carolina in 2015), and hence could not attend that meeting (Alexander Mundy, from D.L. Howell & Associates, Inc., our consulting engineer, attended the Planning Commission's meeting as QBD's representative).

Following are Mr. Mundy's notes made during the subject Planning Commission Meeting:

9-14-23 Planning Commission Meeting (Alex Mundy's notes)

- The Planning Commission recommended approving all requested waivers except the ones for combined preliminary/final approval and the reduction of tree plantings.
- The Planning Commission made a motion to recommend approval of this submission as a preliminary plan only.
- The Planning Commission did not recommend final approval due to the architectural that was provided with the initial submission because they felt that it was not up to the "village" standard.
- The Planning Commission did not recommend approving the requested landscape waiver and wanted to see more trees on the property. Also, the chairperson did not like the placement of the pin oak that was shown adjacent to the driveway out, and would like it moved.
- The Planning Commission wanted us to review the current village guidelines that is in the current ordinance. It was also brought up that a new comprehensive plan is being drafted and set to be put into effect in 2024. They know that we don't have to follow this but they would like us to review the draft plan and possibly follow some of those standards.

Following are my comments and thoughts regarding the Planning Commission's comments and actions:

- 1) Regarding the suggested reduction in trees from what is required: This issue was discussed during the original land development plan's approval process, and it was decided then, that due to the lot's small size, and the retaining wall's location (should not locate new trees close to this wall as their root systems would pose future problems with the wall's stability) additional trees could not be placed on the site. Extensive shrubbery was both then, and now, proposed to give the site a lush appeal. Enclosed with this letter is a letter prepared by our Landscape Architect providing his justification for the requested reduction in the number of trees that should be placed on the site.
- 2) As far as relocating the pin oak tree shown at the driveway exit goes, we have directed our Landscape Architect to make the requested change, with said change shown on the attached revised Landscape Plan.
- 3) Regarding the comment that Final Approval was not granted because the architectural rendering of the proposed building "was not up to the required village standard": During the original land development approval process, the then Planning Commission asked to see some possible renderings showing what the final building on the site could look like, so QBD had several renderings made to show "possibilities". However, all recognized at that time that these were merely "pie-in-the-sky" possibilities, and that in the real world, this is an issue that is to be resolved at the time application is made for a building permit (and will be "negotiated" by, and between, the Township and the Building Permit Applicant at that time (whoever that might be)). This is not an issue to be

considered, or resolved, at the Land Development Plan Approval Process. Hence, QBD would still like the current plan submission review, and approval process, to be considered to be for a combined Preliminary/Final plan approval.

4) Lastly, and for the same reasons noted in item 3 above, the Planning Commission's request for QBD to review any proposed changes to the current village guidelines that may be included in the new comprehensive plan currently being developed for the township, is really inappropriate, and has nothing to do with the granting of Township Approval of our Proposed Land Development Plans.

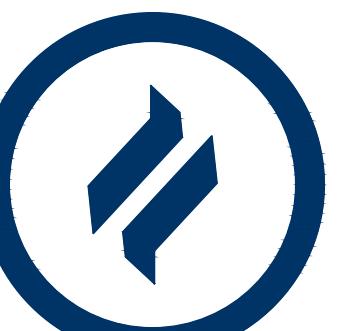
Based upon the above, I would appreciate it if the Planning Commission would reconsider our request for their granting of Preliminary/Final Approval of the Land Development Plans submitted to them at their 9/14/23 meeting as currently revised, i.e. recommend approval of the attached revised Landscape Plan as herewith submitted.

Thanking you for your consideration of the above requests.

QBD Ventures

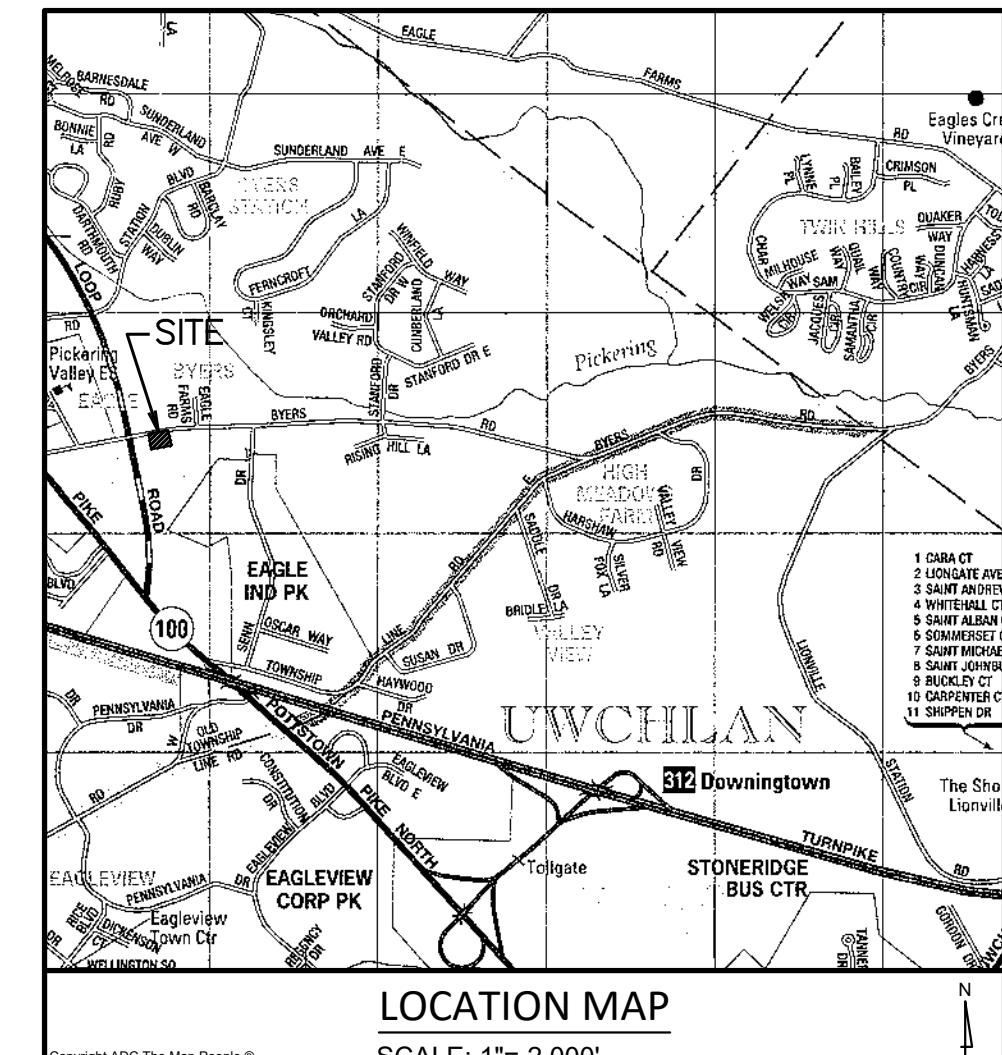
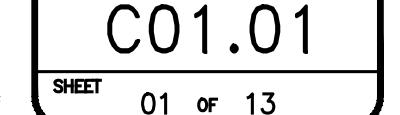
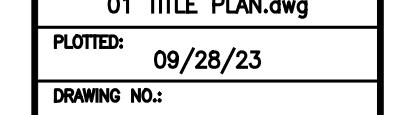
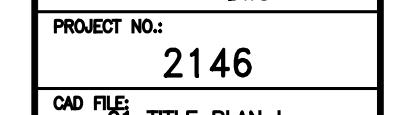
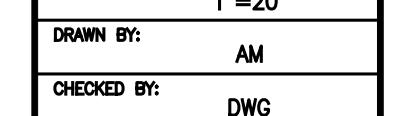
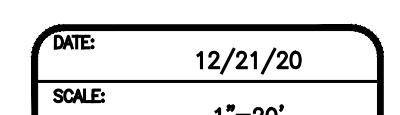
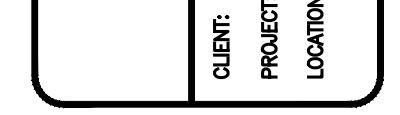
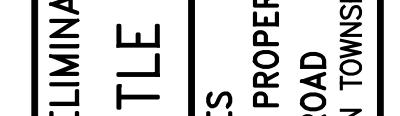
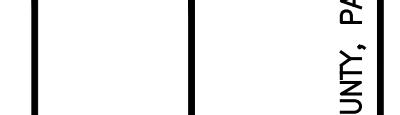
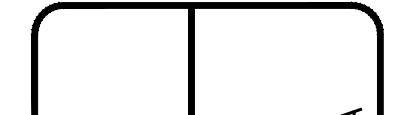
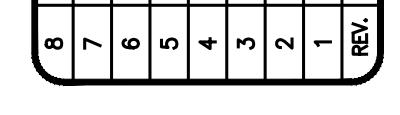
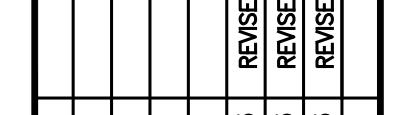
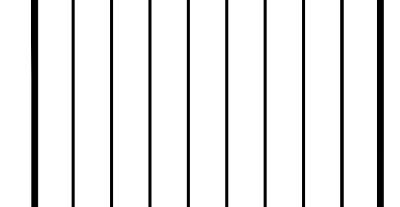


Peter J. Rodgers, General Partner



DLHowell
Civil Engineering
Land Planning
Environmental
www.DLHowell.com

1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003



COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER

ON THIS THE 20 DAY OF 11 A.D. BEFORE ME,
THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA,
RESIDING IN WEST CHESTER, PERSONALLY APPEARED
PETER J. RODGERS WHO ACKNOWLEDGED TO BE THE
PARTNER OF QBD VENTURES TO BE THE
GENERAL PARTNERSHIP
AND THAT AS SUCH TO DO SO, HE EXECUTED THE FOREGOING PLAN BY
SIGNING THE NAME OF THE SAME. THE GENERAL PARTNERSHIP
IS THE OWNER OF THE DESIGNATED LAND,
THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND
IS ENDORSED THEREON AND THAT THE SAID GENERAL PARTNERSHIP
DESires THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

PETER J. RODGERS, QBD VENTURES

NOTARY PUBLIC
MY COMMISSION EXPIRES:
REVIEWED BY THE PLANNING COMMISSION OF UPPER UWCHLAN
TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, THIS
DAY OF 20

CHAIRPERSON
MEMBER
MEMBER
APPROVED BY THE TOWNSHIP SUPERVISORS OF UPPER UWCHLAN
TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA THIS
DAY OF 20

CHAIRPERSON
MEMBER
MEMBER
REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION
THIS 20 DAY OF 20

SECRETARY
REVIEWED BY THE UPPER UWCHLAN TOWNSHIP ENGINEER
THIS 20 DAY OF 20

TOWNSHIP ENGINEER

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF
CHESTER COUNTY IN WEST CHESTER, PENNSYLVANIA, IN PLAN BOOK 20, PAGE 20,
ON THE 20 DAY OF 20.

(DEPUTY) RECORDER OF DEEDS

CERTIFICATE OF CONFORMANCE - P.E.

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THESE
PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING,
SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND
REGULATIONS.

David W. Gibbons
DAVID W. GIBBONS, P.E. LICENSE NO. PE 076444

CERTIFICATE OF ACCURACY - SURVEY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, ALL
SURVEY BOUNDARY INFORMATION AND COMPUTATIONS SHOWN
DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY
REQUIRED BY THE UPPER UWCHLAN TOWNSHIP SUBDIVISION AND
LAND DEVELOPMENT ORDINANCE.

MATTHEW A. WAYMAN, PLS LICENSE NO. SU75525

ZONING DATA TABULATION

UPPER UWCHLAN TOWNSHIP
ZONING ORDINANCE
ARTICLE VIII - C-1 VILLAGE DISTRICT

SECTION 200-33. USE REGULATIONS

A. USES PERMITTED BY RIGHT:
(1) BUSINESS OR PROFESSIONAL OFFICE
SECTION 200-34 - AREA AND BULK REGULATIONS

	REQUIRED	EXISTING	PROPOSED
LOT AREA (S.F.)	30,580	30,580	
LOT AREA (A.C.)	0.702	0.702	
AREA WITHIN FLOOD HAZARD DISTRICT (S.F.)	0	0	
AREA WITHIN RIGHT OF WAYS (S.F.)	6,322	8,739	
AREA WITHIN EASEMENTS (S.F.)	0	0	
AREAS ON SLOPES IN EXCESS OF 26% (S.F.)	0	0	
CALCULATED MINIMUM LOT AREA (NET LOT AREA) (S.F.)	24,258	21,841	
CALCULATED MINIMUM LOT AREA (NET LOT AREA) (A.C.)	0.557	0.551	
SECTION 200-34.B. MINIMUM LOT AREA (S.F.)	10,000	24,258	21,841
SECTION 200-34.C. MINIMUM LOT WIDTH (F.T.)	100	195	195
SECTION 200-34.D. YARD REGULATIONS		1	
SECTION 200-34.D.1) FRONT YARD (F.T.)	20	28	20
SECTION 200-34.D.2) SIDE YARDS (F.T.)	10	67,118	86,035.0
SECTION 200-34.D.3) REAR YARD (F.T.)	40	44	57
SECTION 200-34.E. COVERAGE REGULATIONS			
SECTION 200-34.E.1) MAXIMUM BUILDING COVERAGE	30%	12%	11%
SECTION 200-34.E.2) MAXIMUM LOT COVERAGE	60%	28%	58%
SECTION 200-34.F. HEIGHT RESTRICTIONS (F.T.)	35	<35	<30
SECTION 200-34.I. BUILDING SIZE RESTRICTION (S.F.)	6,000	<4,000	4,400

PARKING REQUIREMENTS

REQUIRED	PROPOSED
SECTION 200-73.H. NONRESIDENTIAL PARKING REQUIREMENTS. OFFICE/BUSINESS SERVICES: 5 SPACES/1,000 S.F. OF GFA 4,400 S.F./1000 X 5 = 22 SPACES	22 SPACES
SECTION 200-73.D.5(O) HANDICAPPED SPACES REQUIRED: 1-25 TOTAL SPACES	1 SPACE 22 TOTAL SPACES

Sheet Number	Drawing Number	Sheet Title
01	C01.01	TITLE PLAN
02	C02.01	SITE ANALYSIS & IMPACT PLAN
03	C03.01	IMPROVEMENT CONSTRUCTION PLAN
04	C03.02	SIDEWALK ADA PLAN
05	C04.01	CONSERVATION PLAN
06	C05.01	PROFILE SHEET
07	C06.01	DETAIL SHEET
08	C06.02	DETAILED PLAN
09	C07.01	PCSM & OEM PLAN
10	C08.01	LIGHTING PLAN
11	C08.02	LIGHTING SPECIFICATIONS PLAN
12	C09.01	LANDSCAPE PLAN
13	C09.02	LANDSCAPE DETAILS

SIGN LEGEND

s1

STOP SIGN (R1-1 24"X24")

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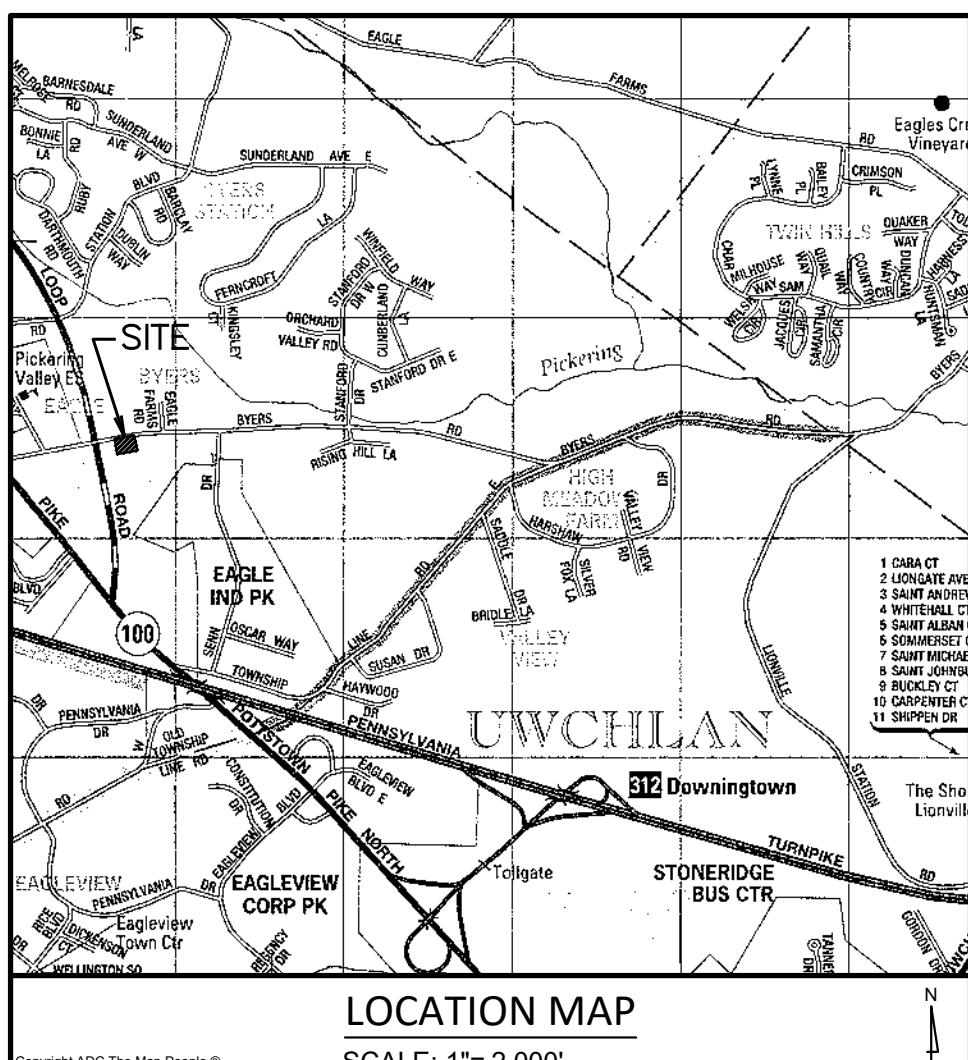
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1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
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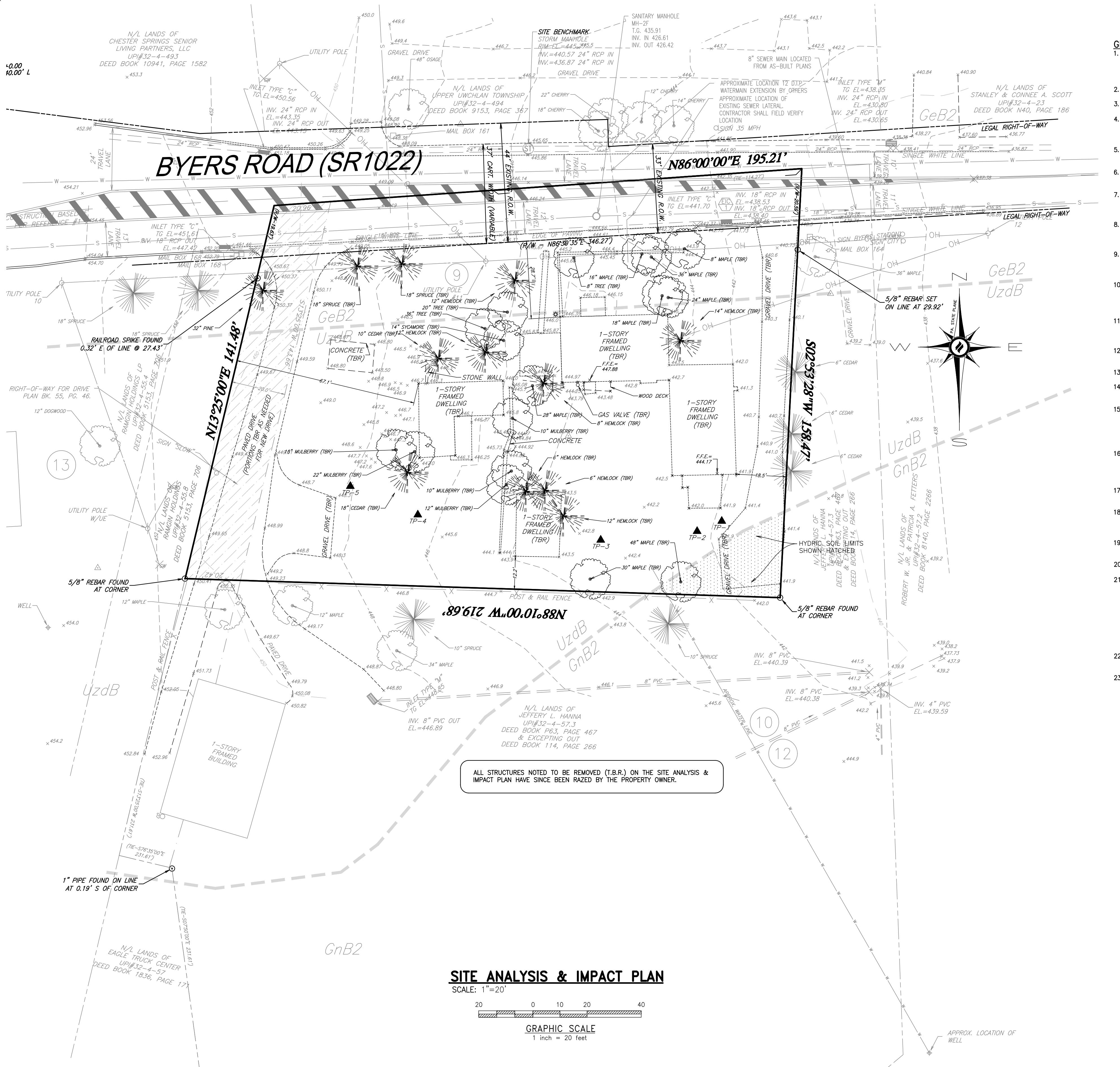
LOCATION MAP

SCALE: 1"=2,000'

TITLE REPORT NOTES

This survey was performed utilizing a Commitment for Title Insurance prepared by Land America Lawyers, Case Number 210173, Policy Number C70-0000817, effective date September 22, 2008. Name of the insured is QBD Ventures, a PA General Partnership, and the land referred to in this policy is described as 164 Byers Road, Uwchilan, PA 19480. Schedule B-Section 2 of said commitment contains the following survey related matters (item numbers correspond to the Title Commitment numbers):

- 8) Rights of the public and other entitled thereto in and to the use of that portion of the premises within the bounds of Byers Road (L.R. 15142). (Right-of-way of SR 1022 plotted herein.)
- 9) Rights granted to Philadelphia Electric Company in Miscellaneous Deed Book 86, Page 509, and Miscellaneous Deed Book 173, Page 663. (Documents describes the right to install electric utility immediately outside the legal Right-of-Way limits of Byers Road. Observable evidence of electric lines and utility poles located along Byers Road are shown herein.)
- 10) Water rights as set forth in Miscellaneous Deed Book 643, Page 583. (Document describes the right to access and use a well located across UPH 32-4-57-3. Approximate location scaled from reference plan #3 show herein, no observable evidence of well or water line at time of survey.)
- 11) Rights granted to Manufacturers Light and Heat Co., in Miscellaneous Deed Book 117, Page 88. (No observable evidence of pipeline at time of survey.)
- 12) Agreement recorded in Miscellaneous Deed Book 643, Page 214. (Document describes the right to access and use a well located across UPH 32-4-57-3. Approximate location scaled from reference plan #3 show herein, no observable evidence of well or water line at time of survey.)
- 13) Reservations as set forth in Instrument recorded in Deed Book E-43, Page 50. (Documents describes a 20' wide access easement for UPH 32-4-57-3 and UPH 32-4-57, plotted herein.)



SITE ANALYSIS & IMPACT PLAN

SCALE: 1"=20'
20 0 20 40
GRAPHIC SCALE
1 inch = 20 feet

LEGEND

EX. PROPERTY LINE	— 242 — EXISTING CONTOUR	— 242 — PROPOSED CONTOUR	— 242 — EX. SPOT ELEV.	— 242 — NEW SPOT ELEV.	— 242 — GEB2	— 242 — SOILS TYPE	— 242 — EX. CONC. CURB	— 242 — PROP. CONC. CURB	— 242 — EX. EDGE OF PAVING	— 242 — PROP. EDGE OF PAVING	— 242 — EX. WETLANDS
PROP. PROPERTY LINE	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00
PROP. RIGHT-OF-WAY	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00	X 123.00
PROP. MONUMENT	■	■	■	■	■	■	■	■	■	■	■
PROP. MONUMENT	●	●	●	●	●	●	●	●	●	●	●
PROP. IRON PIPE	—	—	—	—	—	—	—	—	—	—	—
PROP. EASEMENT	—	—	—	—	—	—	—	—	—	—	—
PROP. EASEMENT	—	—	—	—	—	—	—	—	—	—	—
EX. WETLANDS	—	—	—	—	—	—	—	—	—	—	—

1 TITLE REPORT NOTE

SITE ANALYSIS NARRATIVE

EXISTING LAND USE IS CHARACTERIZED AS GENERALLY DEVELOPED. THERE ARE THREE EXISTING DWELLINGS AND SEVERAL AUXILIARY STRUCTURES, DRIVEWAYS, WILDS, AND PADS. THE REMAINDER OF THE PROPERTY IS DESIGNATED AS MEADOW AND TREES. THE SITE IS PROPOSED TO BE DEVELOPED IN ACCORDANCE WITH THE ZONE C-1 INDUSTRIAL DISTRICT REQUIREMENTS PROVIDED IN THE UPPER UWCHILAN TOWNSHIP ZONING ORDINANCE.

A TOPOGRAPHIC HIGH POINT ORIGINATES ALONG THE WESTERN PROPERTY LINE AND CONTINUES IN A EASTERN DIRECTION ACROSS THE ENTIRE PROPERTY. TOPOGRAPHY ON THE ENTIRE PROPERTY IS CHARACTERIZED AS GENTLY SLOPED. STORMWATER RUNOFF GENERATED BY THE PROPERTY FLOWS IN A EASTERN DIRECTION BEFORE IT IS COLLECTED BY THE STORMWATER COLLECTION STRUCTURES AND ROUTES THROUGH A PROPOSED PIPE STORAGE FACILITY. THIS IS THEN DISCHARGED INTO THE BYERS ROAD CONVEYANCE SYSTEM.

PER PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 25 PA. CODE, 93.96 WATER QUALITY STANDARDS, THE PICKERING CREEK WITHIN UPPER UWCHILAN TOWNSHIP IS CLASSIFIED AS HIGH QUALITY (HQ) TROUT STOCKING FISHES (TSF) AND MIGRATORY FISHES (MF).

SITE SOILS HAVE BEEN IDENTIFIED BY THE SOILS INFORMATION PROVIDED BY PENN STATE COLLEGE OF AGRICULTURE COOPERATIVE EXTENSION, WITH SUPPORT FROM THE NATURAL RESOURCES CONSERVATION SERVICE. SOILS ATTRIBUTE DATA IS SERVED FROM THE NRCS SOIL DATA MART. THREE (3) SOIL TYPES ARE RECORDED WITHIN THE PROJECT AREA:

- GLENELG SILT LOAM (GEB2) 3 TO 8 PERCENT SLOPES.
- GLENELG SILT LOAM (GnB2) 3 TO 8 PERCENT SLOPES, MODERATELY ERODED, GLENELG LAND-UDORTHENS SCHIST AND GNEISS COMPLEX (UdB) 0 TO 8 PERCENT SLOPES.

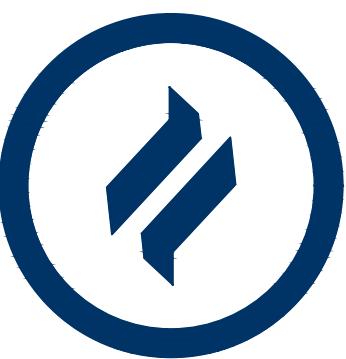
GLENELG SILT LOAM IS DEFINED AS A HYDRIC SOIL (SHOWN HATCHED). A PORTION OF THE HYDRIC SOIL IS CURRENTLY UTILIZED AS A GRAVEL DRIVEWAY AREA. THE PROPOSED CONDITION, A PORTION OF THE HYDRIC SOIL WILL BE USED AS A PAVED PARKING AREA. A RETAINING WALL WILL ALSO BE CONSTRUCTED WITHIN THIS SOIL TYPE.

SYMBOL	SOIL NAME	DEPTH TO SEASONAL HIGH WATER TABLE	DEPTH TO BEDROCK	SUITABILITY FOR WINTER ACTION	RESISTANCE TO FROST ACTION	SUITABILITY FOR ROAD GRADE	SUITABILITY FOR ROAD FILL	SUITABILITY AS SOURCE FOR TOPSOIL	CHARACTERISTICS THAT AFFECT VERTICAL ALIGNMENT FOR HIGHWAYS	CHARACTERISTICS THAT AFFECT SUITABILITY FOR HIGHWAYS	CHARACTERISTICS THAT AFFECT SUITABILITY FOR:			
											Dikes & Levees	Farm Ponds & Reservoir Area	Agricultural Drainage	Irrigation
GEB2	GLENELG CHAMNEY SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	5 FT.+	3 TO 5 FT.	GOOD	FAIR	FAIR TO GOOD	FAIR TO GOOD	GOOD	—	—	RAPID PERMEABILITY	PERMEABLE SUBSTRATE	PERMEABILITY	—
GnB2	GLENELG SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	1-1 1/2 FT.	3 TO 6 FT.	FAIR	POOR	POOR TO FAIR	POOR TO FAIR	UNSATURABLE	—	—	—	—	—	—
UdB	URBAN LAND - UDORTHENS SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES	—	—	—	—	—	—	—	SEASONAL HIGH WATER TABLE	CLAYPAN	FLUCTUATING WATER TABLE	INSTABILITY	WATER TABLE SEEPAGE	—

PRELIMINARY/FINAL SITE ANALYSIS & IMPACT PLAN

CLIENT: QBD VENTURES
PROJECT: BYERS ROAD PROPERTY
LOCATION: 164 BYERS ROAD TOWNSHIP, CHESTER COUNTY, PA

DATE: 12/21/20
SCALE: 1"=20'
DRAWN BY: AM
CHECKED BY: DWG
PROJECT NO.: 2146
CSD SITE ANALYSIS & IMPACT PLAN
PLOTTED: 09/28/23
DRAWING NO.: C02.01
SHEET 02 OF 13



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Phone: (610) 918-9002
Fax: (610) 918-9003



SIDEWALK ADA PLAN

SCALE: 1" = 2'

PRELIMINARY/FINAL

SIDEWALK ADA PLAN

CLIENT: QBD VENTURES

PROJECT: BYERS ROAD PROPERTY

LOCATION: 164 BYERS ROAD

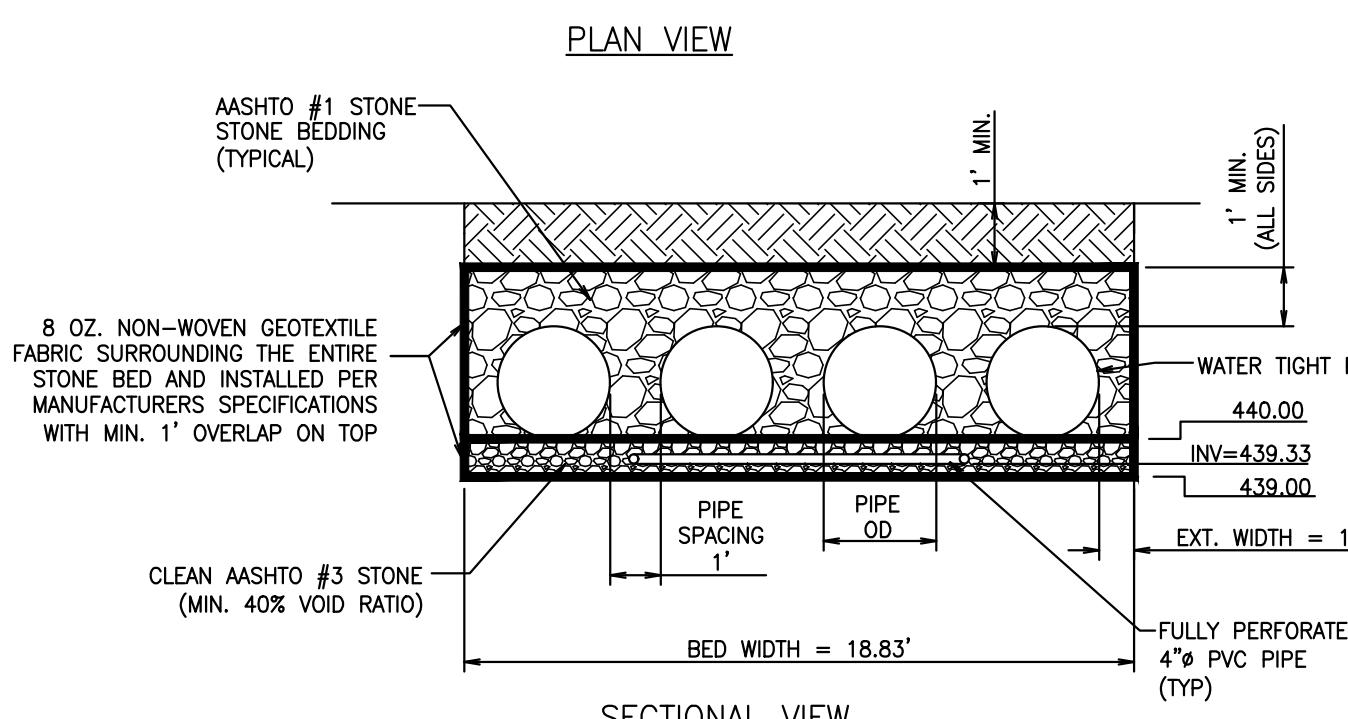
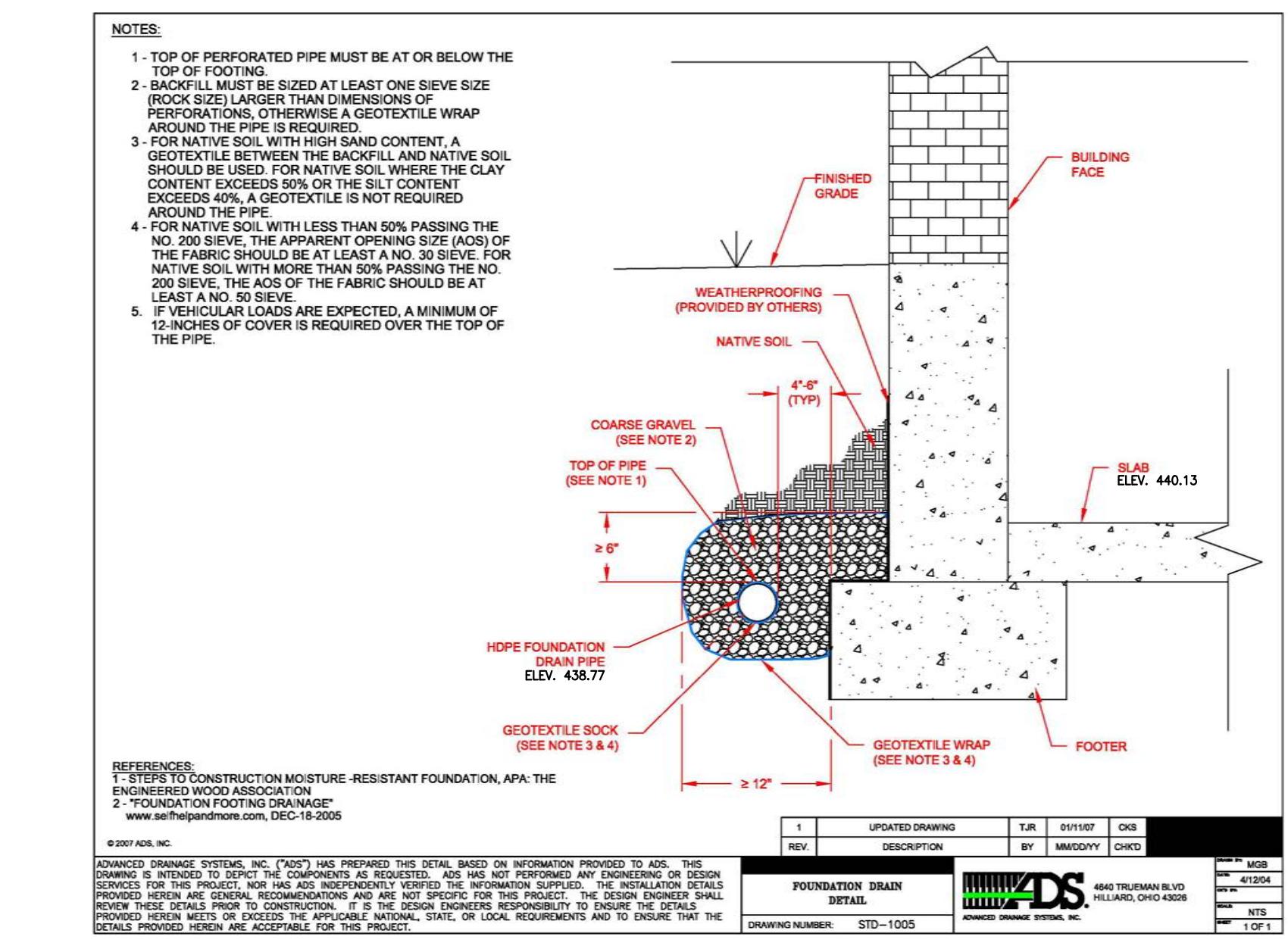
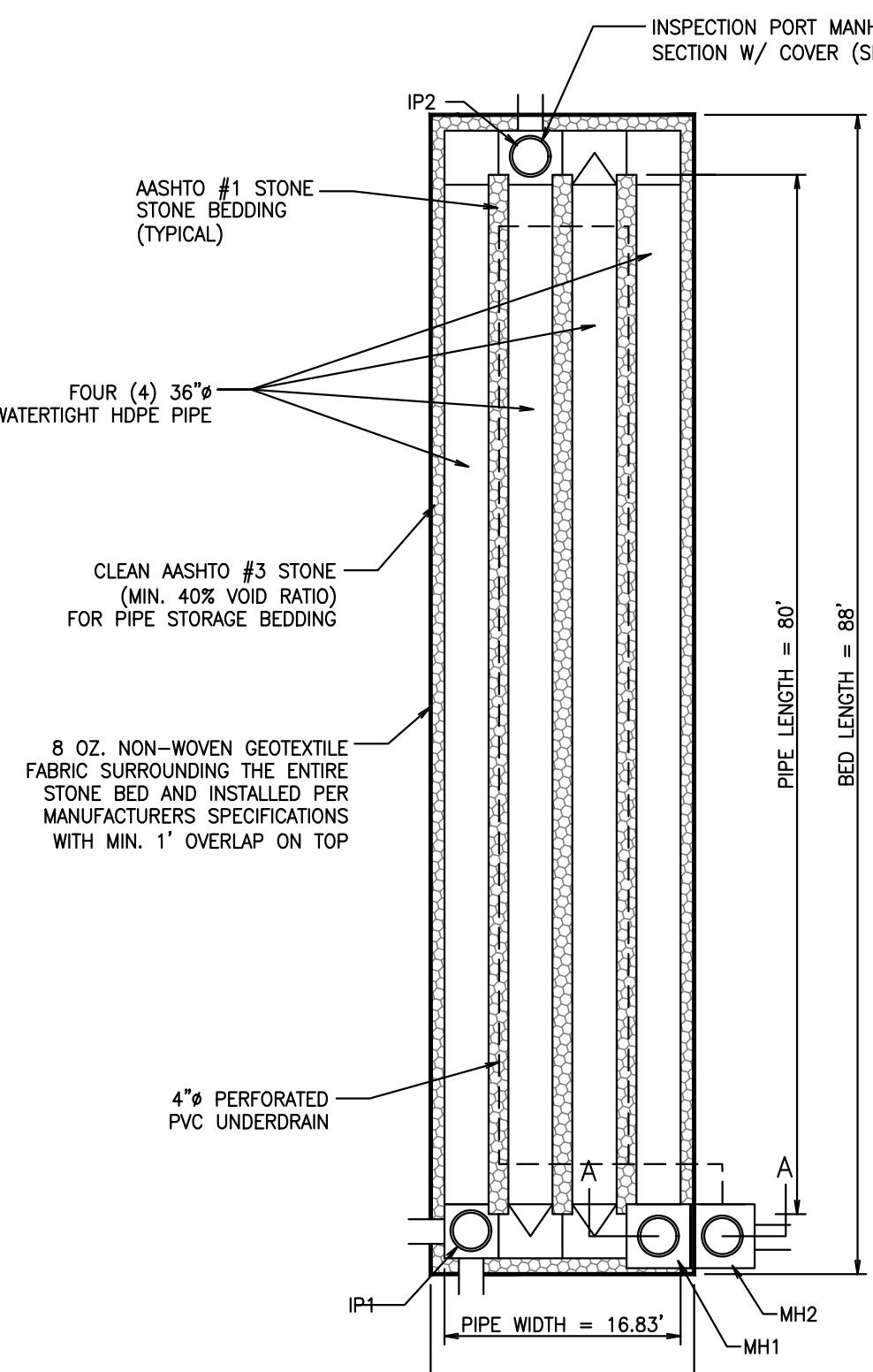
UPPER UHCLAN TOWNSHIP, CHESTER COUNTY, PA

DATE:	12/21/20
SCALE:	1"=2'
DRAWN BY:	AM
CHECKED BY:	DWG
PROJECT NO.:	2146
CAD FILE:	03 IMPROVEMENT CONSTRUCTION PLAN.dwg
PLOTTED:	09/28/23
DRAWING NO.:	C03.02
SHEET	04 OF 13



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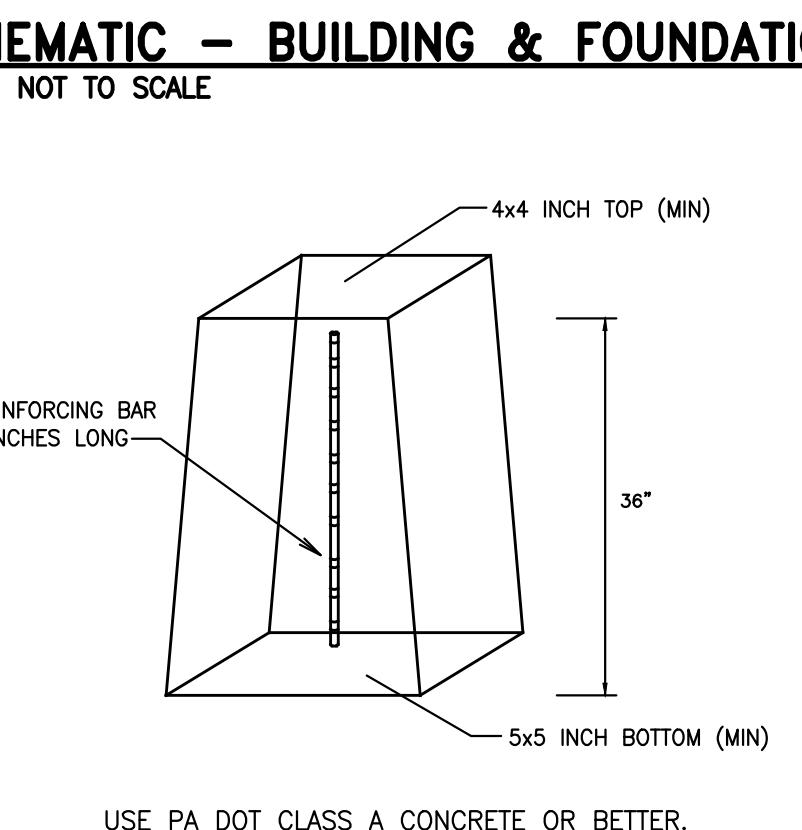
1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003



PROPOSED PIPE STORAGE DETAIL

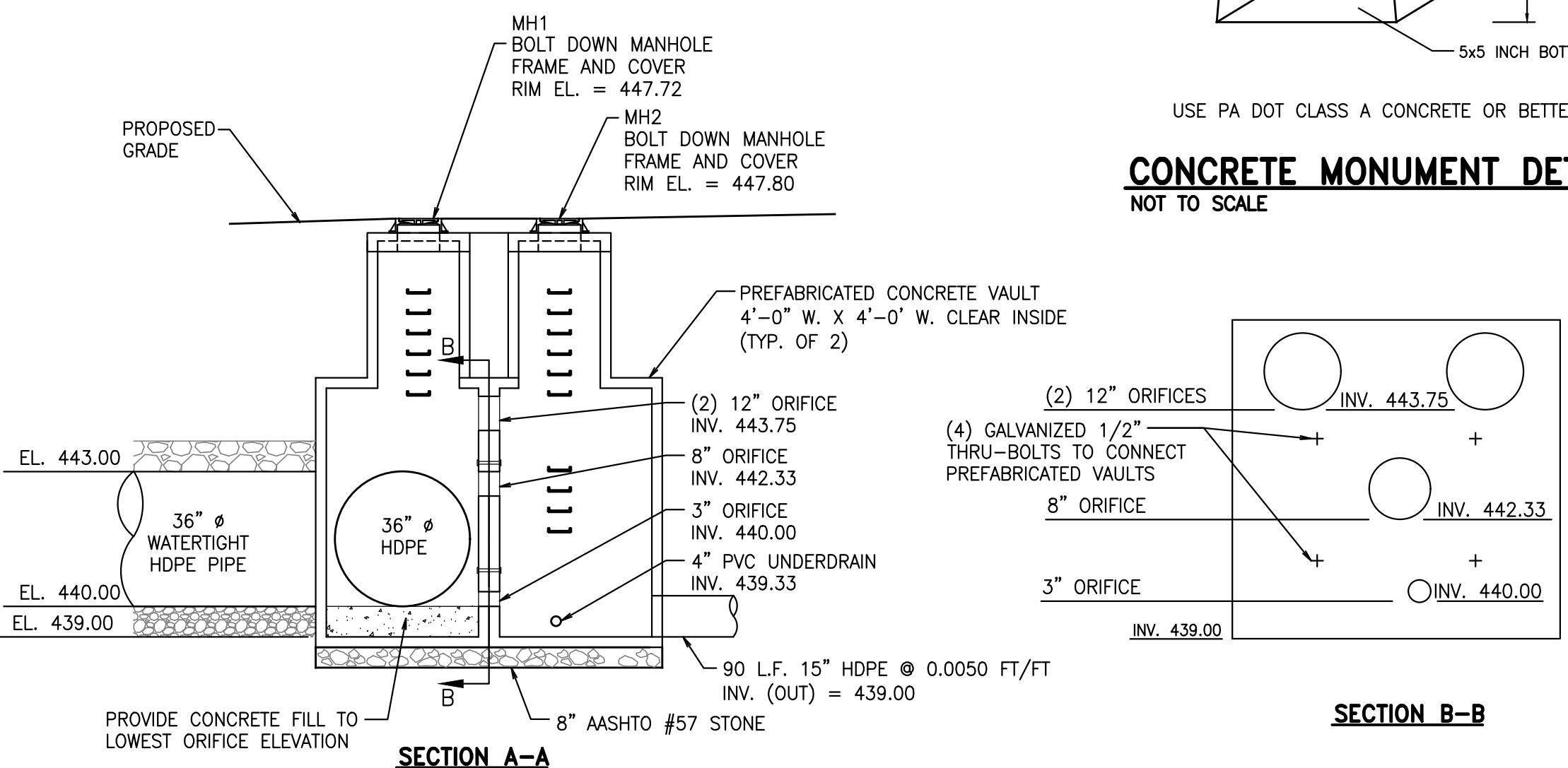
SCALE: NOT TO SCALE

NOTES:
1. PIPE BEDDING MATERIAL SHALL BE PER MANUFACTURER'S SPECIFICATION.
2. HAUNCH MATERIAL SHALL BE PER MANUFACTURER'S SPECIFICATION.
3. GEOTEXTILE FABRIC SHALL CONFORM TO PENNDOT 408 SPECIFICATIONS - SECTION 212 GEOTEXTILES OR LATEST ADDENDA.



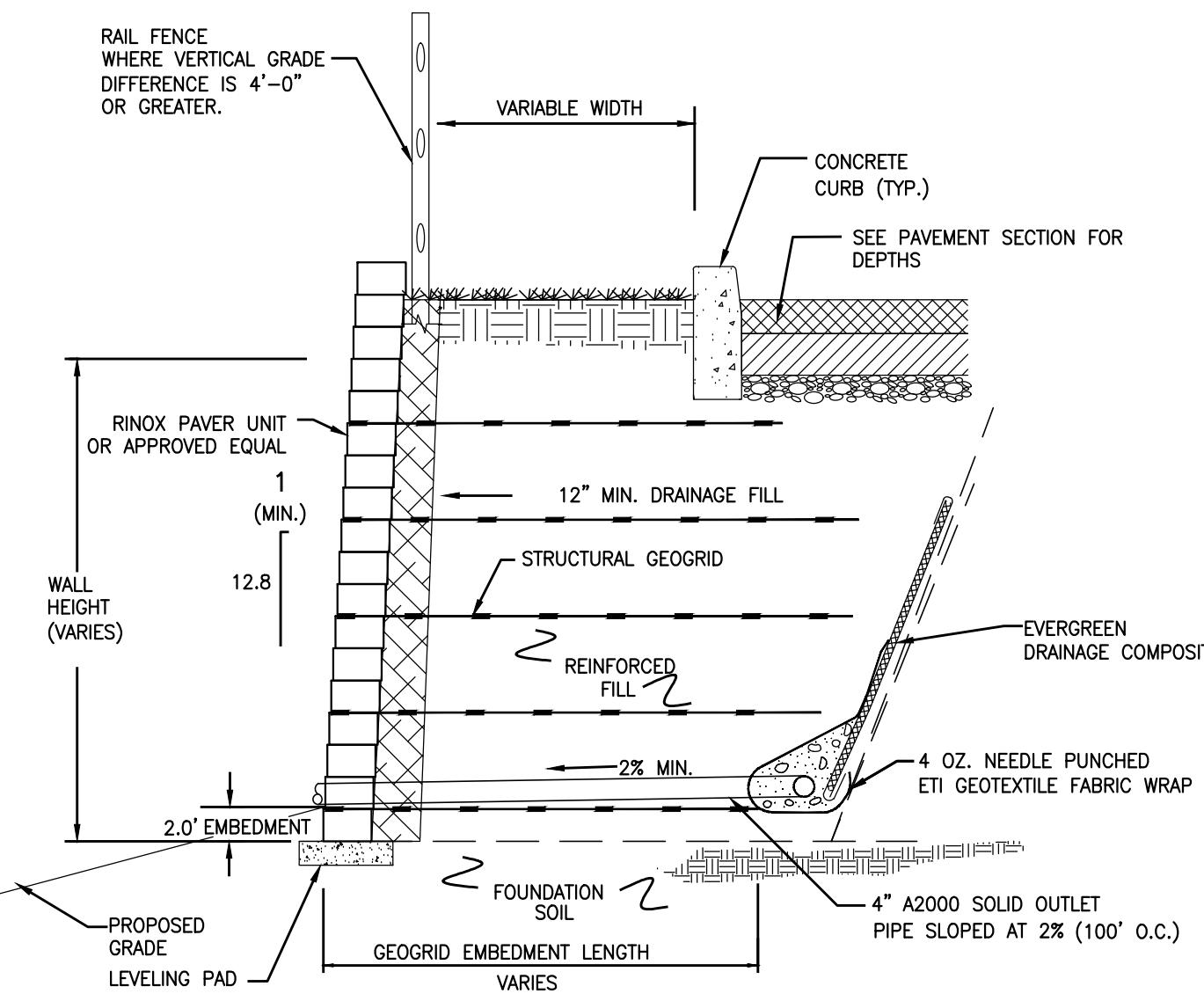
CONCRETE MONUMENT DETAIL

NOT TO SCALE



OUTLET STRUCTURE & PIPE STORAGE DETAIL

SCALE: NOT TO SCALE

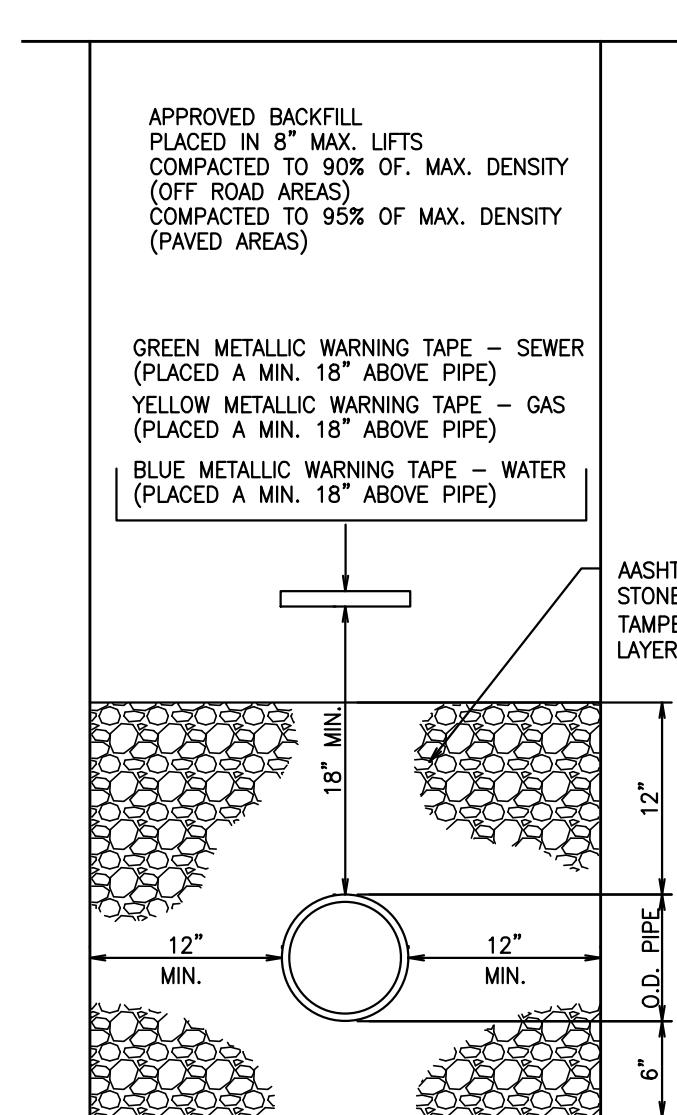


THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE CONCRETE BLOCK RETAINING WALL TO THE TOWNSHIP FOR APPROVAL PRIOR TO WALL INSTALLATION.

(ACTUAL WALL DESIGN BY OTHERS)

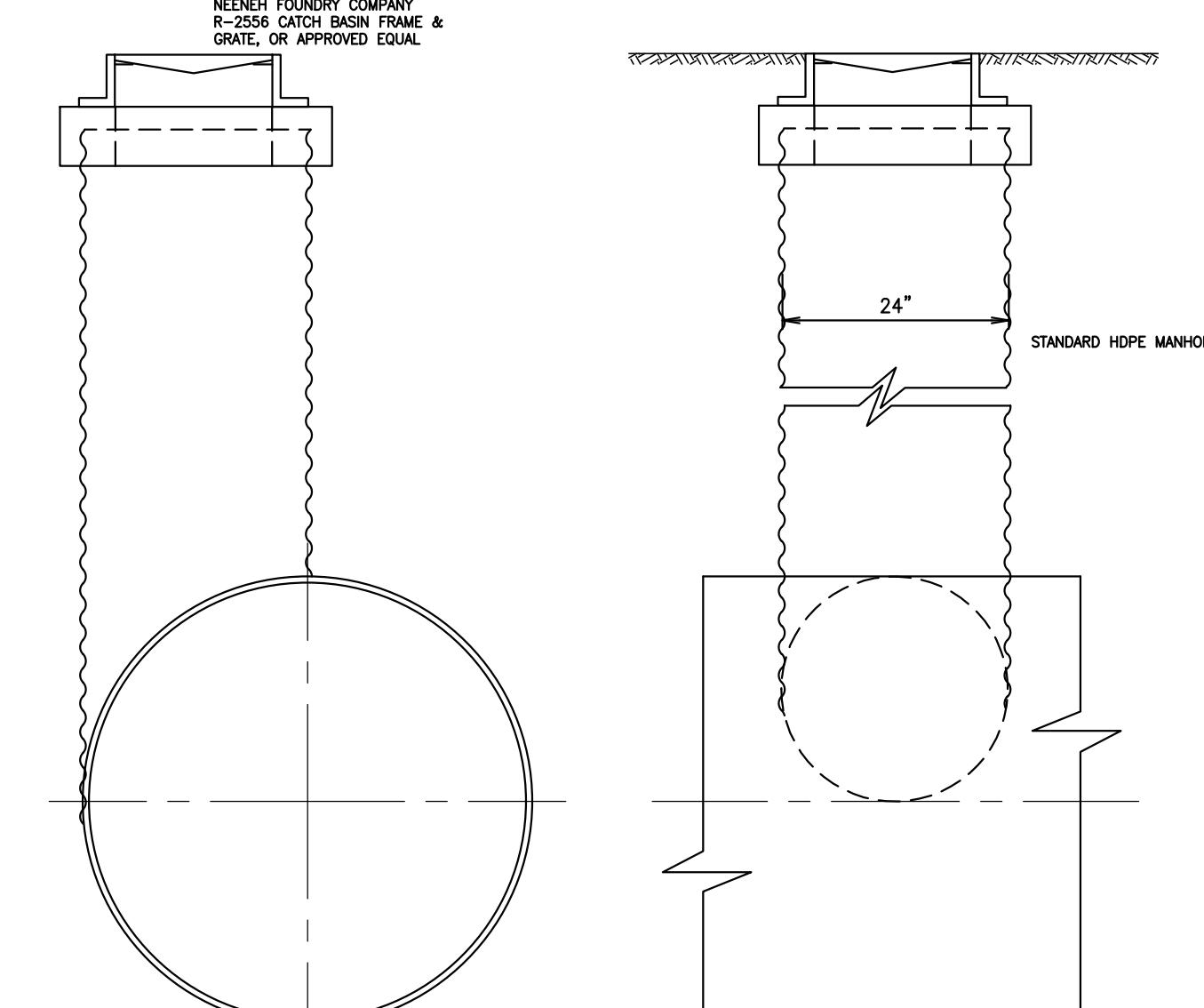
RETAINING WALL DETAIL (TYPICAL)

NO SCALE



TYPICAL UTILITY TRENCH DETAIL

SCALE: NOT TO SCALE

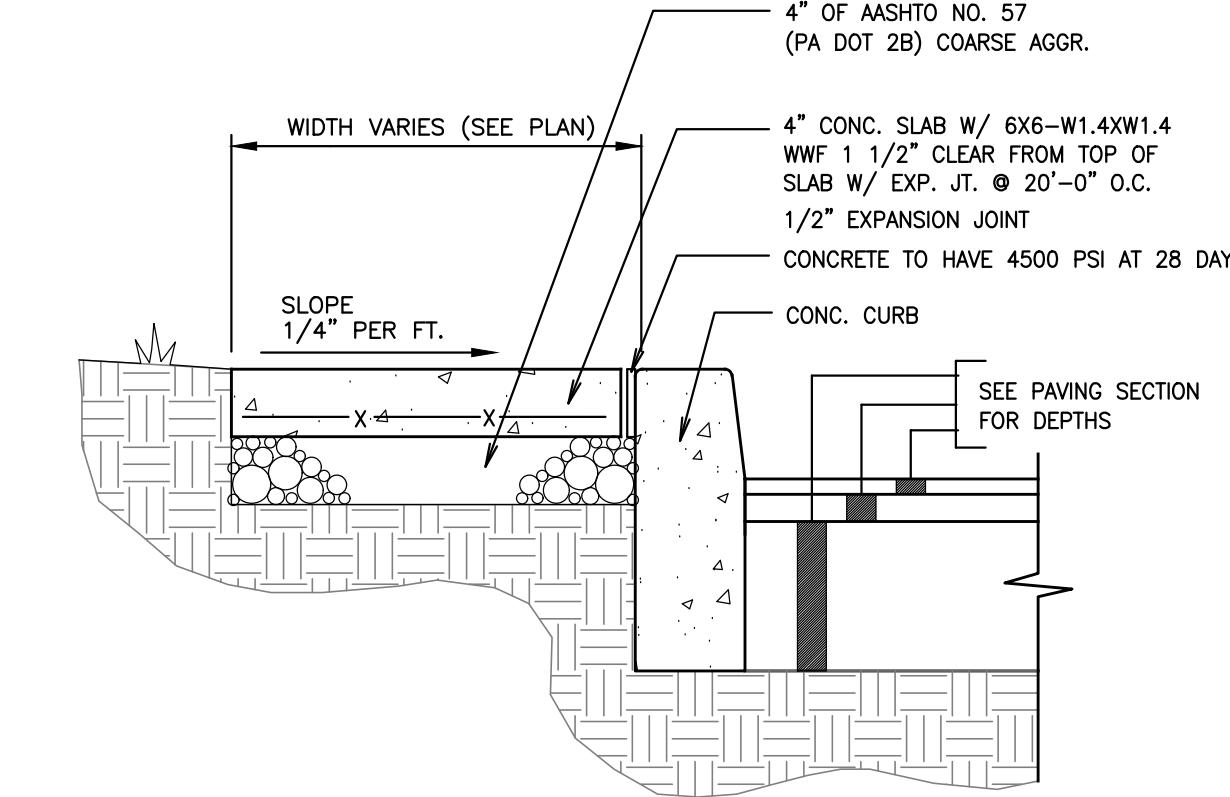


INSPECTION PORT FOR PIPE STORAGE STRUCTURES (TYP.)

SCALE: NOT TO SCALE

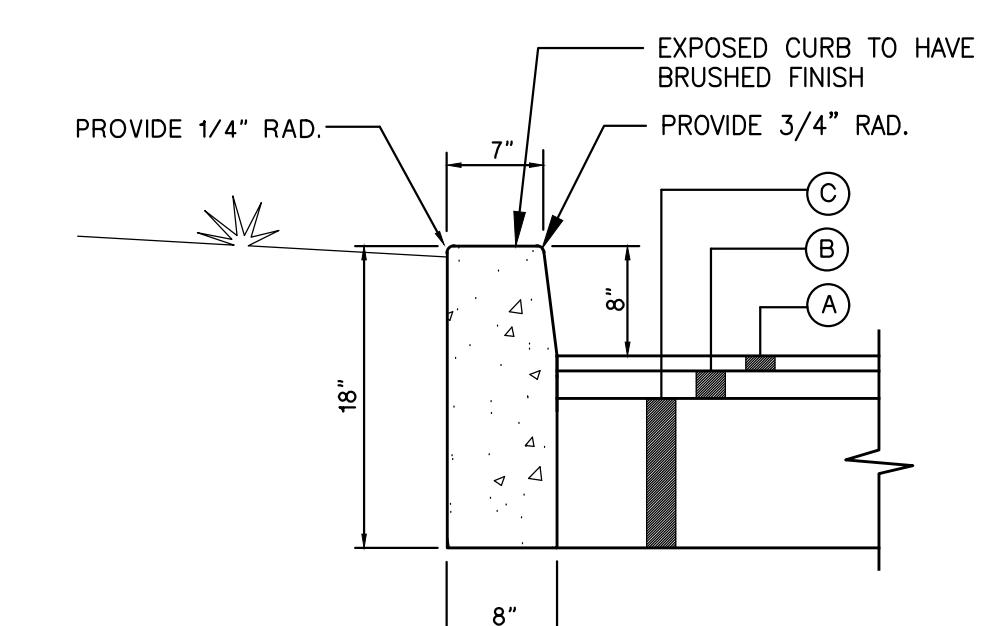
OPERATION AND MAINTENANCE:

1. INDIVIDUAL LATERAL LOCATIONS MAY BE REVISED IN THE FIELD TO SAVE INDIVIDUAL TREES.
2. ANY FILL TO OCCUR DOWNHILL OF THE SEEPAGE BEDS SHALL BE COMPACTED TO A 95% MAX. DENSITY.
3. INFLOW AND OUTFLOW POINTS OF THE STORMWATER SYSTEM SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE SYSTEMS. ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.



TYPICAL SIDEWALK DETAIL

SCALE: NOT TO SCALE



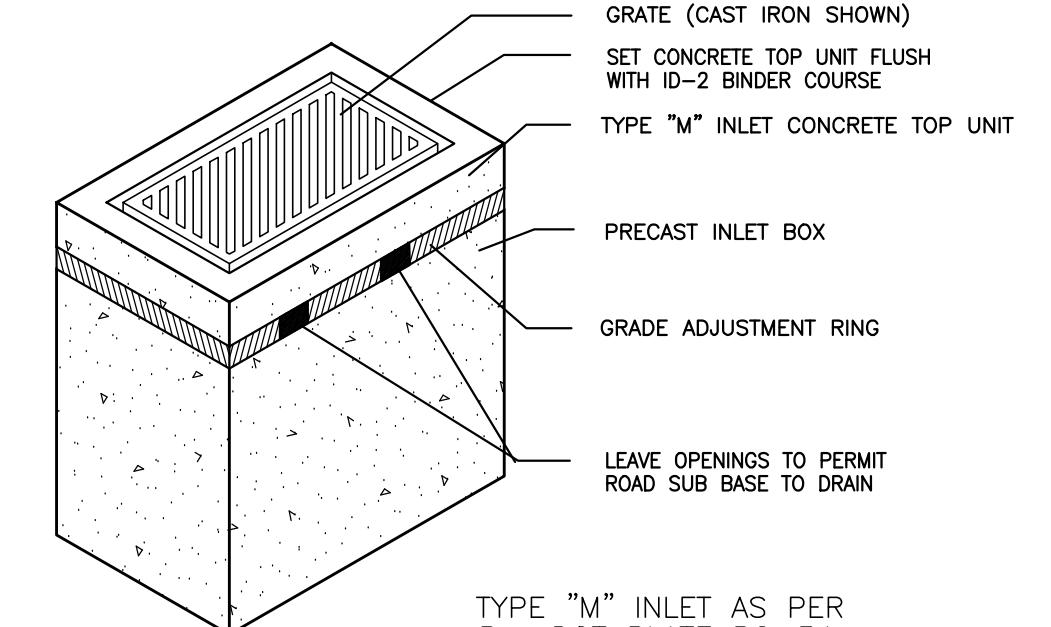
TYPICAL PAVING SECTION

- A. 1-1/2" ID-2 WEARING COURSE
- B. 2 1/2" ID-2 BINDER COURSE
- C. 6" 3A MODIFIED STONE

NOTES:
1. ALL MATERIALS & WORK TO CONFORM TO PennDot FORM 408 SPECIFICATIONS. LATEST EDITION.
2. CONCRETE TO HAVE 3750 P.S.I. AT 28 DAYS.

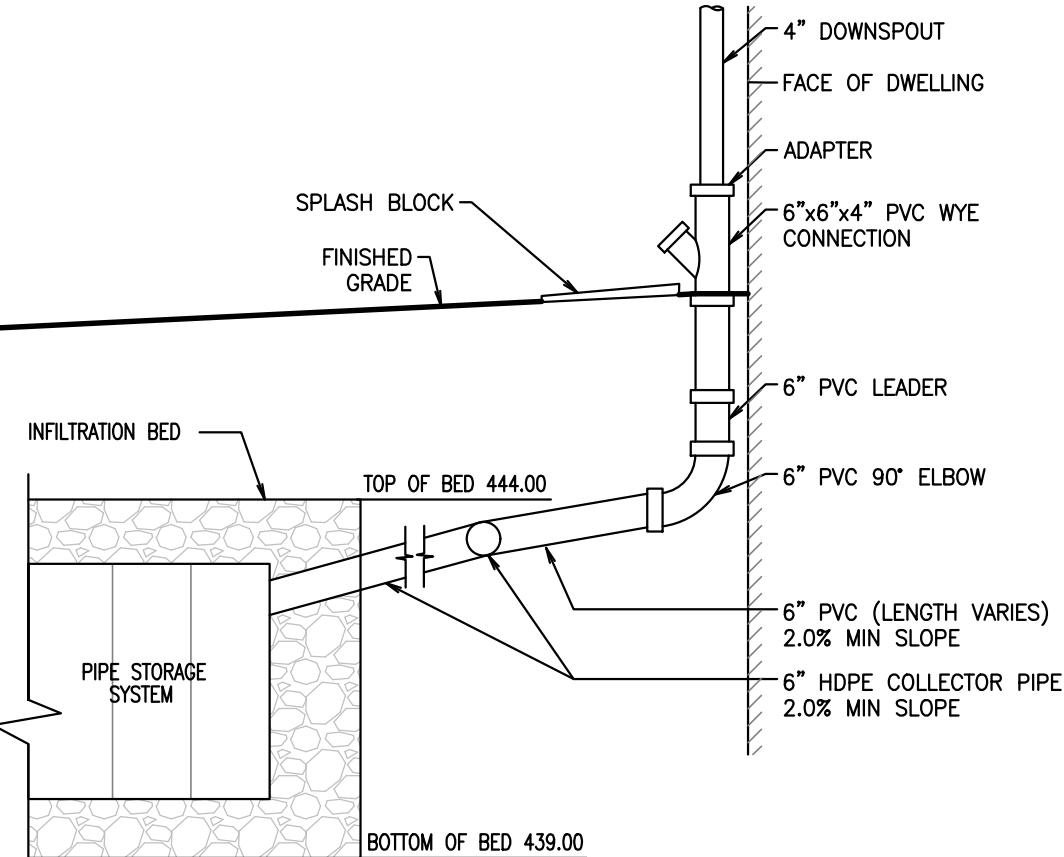
8" CURBING & PAVING SECTION

SCALE: NOT TO SCALE



TYPE 'M' INLET

SCALE: NOT TO SCALE

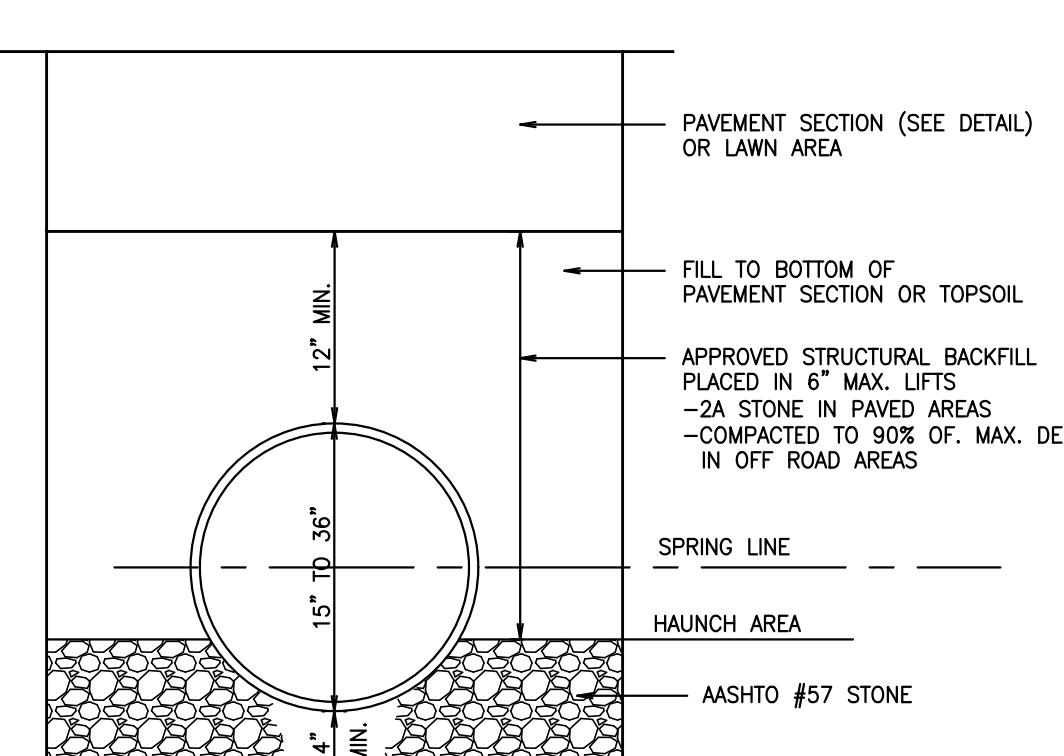


NOTES:

1. PVC MAY BE SUBSTITUTED WITH AN APPROVED EQUAL MATERIAL.
2. LEAF GUARDS TO BE INSTALLED ON ALL GUTTER DOWNSPOUTS.

DOWNSPOUT CONNECTION DETAIL

NO SCALE



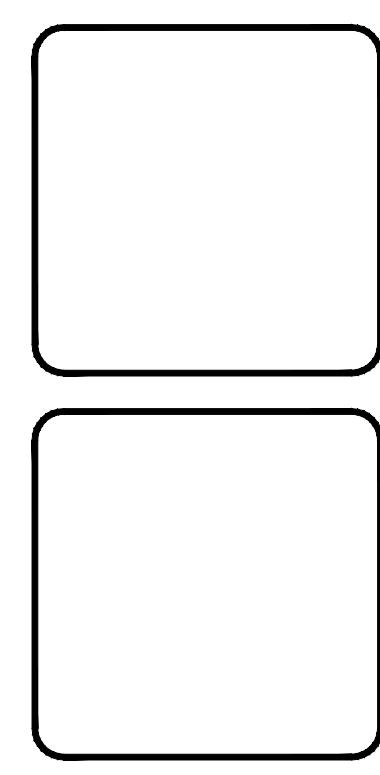
TYPE 'C' INLET

SCALE: NOT TO SCALE

DATE	12/21/20	REvised PER TOWNSHIP REVIEW LETTERS
SCALE	AS SHOWN	REvised PER TOWNSHIP REVIEW LETTERS
DRAWN BY	AM	REvised PER TOWNSHIP REVIEW LETTERS
CHECKED BY	DWG	REvised PER TOWNSHIP REVIEW LETTERS
PROJECT NO.	2146	REvised PER TOWNSHIP REVIEW LETTERS
CAD FILE	06 DETAIL SHEET.dwg	REvised PER TOWNSHIP REVIEW LETTERS
PLOTTED	09/28/23	REvised PER TOWNSHIP REVIEW LETTERS
DRAWING NO.	C06.01	REvised PER TOWNSHIP REVIEW LETTERS
REF.		REvised PER TOWNSHIP REVIEW LETTERS
DATE		REvised PER TOWNSHIP REVIEW LETTERS

PRELIMINARY/FINAL DETAIL SHEET	
CLIENT:	QBD VENTURES
PROJECT:	164 BYERS ROAD PROPERTY
LOCATION:	UPPER UHCLAN TOWNSHIP, CHESTER COUNTY, PA
REF.	

DATE	12/21/20	REvised PER TOWNSHIP REVIEW LETTERS
SCALE	AS SHOWN	REvised PER TOWNSHIP REVIEW LETTERS
DRAWN BY	AM	REvised PER TOWNSHIP REVIEW LETTERS
CHECKED BY	DWG	REvised PER TOWNSHIP REVIEW LETTERS
PROJECT NO.	2146	REvised PER TOWNSHIP REVIEW LETTERS
CAD FILE	06 DETAIL SHEET.dwg	REvised PER TOWNSHIP REVIEW LETTERS
PLOTTED	09/28/23	REvised PER TOWNSHIP REVIEW LETTERS
DRAWING NO.	C06.01	REvised PER TOWNSHIP REVIEW LETTERS
REF.		REvised PER TOWNSHIP REVIEW LETTERS



PRELIMINARY/FINAL	PCSM & O&M PLAN
7	4
6	3
5	2
4	1
3	09/26/23 REVISED PER TOWNSHIP REVIEW LETTERS
2	08/04/23 REVISED PER TOWNSHIP REVIEW LETTERS
1	06/01/23 REVISED PER TOWNSHIP REVIEW LETTERS
REVIS.	DATE

CLIENT: QBD VENTURES	PROJECT: 164 BYERS ROAD PROPERTY	LOCATION: UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PA

DATE: 12/21/20	SCALE: 1"=20'
DRAWN BY: AM	
CHECKED BY: DWG	
PROJECT NO: 2146	
CAD FILE: 03_PCSM_Plan.dwg	
PLotted: 09/28/23	
DRAWING NO: C07.01	
Sheet: 09 OF 13	

BMP GENERAL NOTE

UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RUNOFF EVENT AND ON A QUARTERLY BASIS. ALL SITE INSPECTIONS MUST DOCUMENT THE INSPECTION LOG. KEPT FOR THIS PURPOSE, THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOCATION, THE ACTIVITIES CONDUCTED, THE DATE AND TIME OF THE INSPECTION, THE PERSON REQUIRED TO PREVENTATIVE MAINTENANCE, THE DISTRICT ENGINEER, THE PERMITTING AUTHORITY, THE PERMIT NUMBER, THE PERMIT TYPE, INCLUDING "CLEAN OUT", REPAIR, REPLACEMENT, REGRADED, REMULCHING, RESEEDING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR REPAIRS TO THE BMP'S MUST BE MADE AS SOON AS POSSIBLE. IF THE ACTIVITIES FAIL TO AVOID EROSION OR SEDIMENTATION POLLUTION, THE PERMITTEE OR CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:

THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.

ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE RECURRENT OF THE NON-COMPLIANCE.

THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE ACTIVITIES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

GENERAL PCSM NOTES:

- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUPPORTING PERENNIAL VEGETATION. OTHER STABILIZATION MEASURES AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREA DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH DO NOT HAVE A PERENNIAL VEGETATIVE COVER SHALL BE RE-STABILIZED WITHIN 1 YEAR. MULCH MUST BE APPLIED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- IF THE CONTRACTOR ENCOUNTERS HIGH WATER TABLE, SHALLOW BEDROCK, SINKHOLES OR SOIL INSTABILITY DURING SITE CONSTRUCTION, THE DESIGN ENGINEER OR THE ON-SITE GEOTECHNICAL ENGINEER MUST BE CONTACTED IMMEDIATELY FOR CORRECTIVE MEASURES.
- IF GROUNDWATER OR BEDROCK IS ENCOUNTERED DURING THE INSTALLATION OF THE BMP'S STOP WORK AND CONTACT THE TOWNSHIP AND DESIGN ENGINEER FOR AN ALTERNATE STORMWATER BMP LOCATION OR NEW DESIGN.
- THE EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN DESIGNED IN AN EFFORT TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE, WHILE PROTECTING THE EXISTING DRAINAGE FEATURES AND VEGETATION. THE EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN DEVELOPED AS TO MINIMIZE SOIL COMPACTION, LAND CLEARING, AND IMPERVIOUS AREAS.
- THE DESIGN WILL PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE DOWNSTREAM WATERSHED.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2001, SEQ. 271, SEQ. 272, AND 287.1 FT. SEQ. THE CONTRACTOR SHALL NOT ALLEGedly BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
- IF ANY UNFAVORABLE CONDITIONS ARE ENCOUNTERED DURING THE INSTALLATION OF THE BMP'S (I.E. GROUNDWATER AND/OR BEDROCK, ETC.), THE OWNER/ENGINEER SHOULD BE NOTIFIED AND THE PROPOSED SYSTEM SHOULD BE RELOCATED TO A MORE SUITABLE LOCATION ON THE PROPERTY.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER, OR IMPAIR THE EFFECTIVENESS OF ANY STORMWATER BMP'S, CONVEYANCES, FACILITIES, AREAS, OR STRUCTURES UNLESS THE ACTIVITY IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO A BMP OR CONVEYANCE, OR WITHIN A STORMWATER EASEMENT, THAT WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
- AN AS-BUILT SURVEY OF ALL STORMWATER BMP'S AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE OPERATION AND MAINTENANCE PLAN SHALL BE PROVIDED TO UPPER UWCHLAN TOWNSHIP.
- REPRESENTATIVES OF UPPER UWCHLAN TOWNSHIP OR OTHER GOVERNMENTAL AUTHORITIES SHALL HAVE PERMISSION TO GAIN ACCESS TO THE STORMWATER MANAGEMENT FACILITY THROUGH THE BLANKET EASEMENT OVER THE PROPERTY TO PERFORM INSPECTIONS, MAINTENANCE AND REPAIRS OF THE SYSTEM, AS NECESSARY.

INFILTRATION FACILITY MAINTENANCE AND OPERATION:

INSPECTION: UNDERGROUND BMP SYSTEMS, INLETS, AND PIPING SHALL BE INSPECTED QUARTERLY, AND AFTER PANALLOUS, BY THE OWNER. THE OWNERS INSPECTION ITEMS SHALL INCLUDE THE CONDITION OF THE INSPECTION PORTS AND ANY VISIBLE CONNECTIONS, SEDIMENT ACCUMULATION OR STANDING WATER IN THE TANK, AND ANY SETTLING OR BREAKOUTS ALONG THE LENGTH OF THE TANK. INSPECT INLETS FOR BLOCKAGE ACCUMULATED DUST AND WITHIN THE STORAGE SYSTEM FROM ALL STORM EVENTS SHOULD BE DISPRESSED WITHIN 72 HOURS.

MAINTENANCE: DURING THE REGULAR INSPECTIONS AT THE INTERVAL NOTED ABOVE, THE OWNER SHALL REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS FROM THE UNCOATED PIPE LININGS. IF NECESSARY, REPAIR OR REPLACE ANY DAMAGED PIPING. IF SIGNIFICANT SETTLEMENT HAS OCCURRED, AND THE COLLECTED RUNOFF DOES NOT DETERWATER, CONSULT THE TOWNSHIP AND THE ENGINEER OF RECORD FOR APPROPRIATE RENOVATION MEASURES. ANY ISSUES WITH THE SYSTEM SHOULD BE BROUGHT TO THE ATTENTION OF THE TOWNSHIP ENGINEER WITH APPROPRIATE REMEDIATION BEING IMPLEMENTED WITHIN 60 DAYS.

STORMWATER BMP NOTES:

- COMPACTATION IS TO BE MINIMIZED IN THE AREAS DESIGNATED FOR THE UNDERGROUND SYSTEM.
- BED FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL/SEDIMENT HAS ENTERED THE BED, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE ADDRESSED.
- ALL STONE FOR THE CONSTRUCTION OF THE INFILTRATION BED SHOULD BE UNIFORMLY GRADED AND CLEAN WASHED AGGREGATE.
- THE BOTTOM OF THE BED SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE.
- THE BOTTOM OF THE BED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF THE AGGREGATE.

SOIL TYPE(S)

ACT 287 SERIAL NUMBER 20092592101
D. L. Howell & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does D. L. Howell & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

UTILITIES NOTIFIED

BUCKEYE PIPELINE COMPANY
COMCAST CABLE COMMUNICATIONS, INC.
PECO ENERGY
VERIZON PENNSYLVANIA, INC.
UPPER UWCHLAN TOWNSHIP
UPPER UWCHLAN MUNICIPAL AUTHORITY

LEGEND

EX. PROPERTY LINE	— 242	EXISTING CONTOUR	— O	PROPS. LIGHT POLE	— E	PROPS. ELEC. LINE	— W	PROPS. WATER LINE
PROP. PROPERTY LINE	X 123.00	PROPOSED CONTOUR	X 1242	EX. FENCE	O	PROPS. UTILITY POLE	WL	PROPS. WATER LATERAL
EX. RIGHT-OF-WAY	X 123.00	EXISTING SPOT ELEV.	X 123.00	EX. MAIL BOX	O	PROPS. UTILITY POLE	FW	PROPS. FIRE WATER LINE
PROP. RIGHT-OF-WAY	X 123.00	NEW SPOT ELEV.	X 123.00	EX. SIGN	O	PROPS. UTILITY POLE	WV	EX. WATER VALVE
EX. MONUMENT		SOILS TYPE	O	PROPS. SIGN	G	EX. GAS LINE	WV, WO	PROPS. WATER VALVE
PROP. MONUMENT		SOILS LINE	O	EXIST. PARKING SPACES	G	EX. GAS LINE	FH	EX. HYDRANT
EX. IRON PIPE		FX. CONC. CURB	O	PROPS. PARKING SPACES	G, WO	PROPS. GAS VALVE	FH, WO	PROPS. HYDRANT
PROP. IRON PIPE		EX. EDGE OF PAVING	O	(TBR)	T	PROPS. SAN. SEWER LINE	FH, WO	EX. MANHOLE
EX. EASEMENT		PROP. EDGE OF PAVING	O	TO BE REMOVED	T	PROPS. SAN. SEWER LATERAL	O	PROPS. MANHOLE
PROP. EASEMENT		EX. LIGHT POLE	O		E	PROPS. STORM SEWER LINE	MH	15%~25% PRECAUTIONARY SLOPES
EX. WETLANDS						EX. STORM INLET	1	25%+ PROHIBITIVE STEEP SLOPES

RECEIVING SURFACE WATERS - 102.8(f)(5)

*THE PENNSYLVANIA TITLE 25, CHAPTER 93 CLASSIFICATION FOR THE RECEIVING WATERS OF THE COMMONWEALTH

UNNAMED TRIBUTARY (LNT) TO PICKERING CREEK IN THE PICKERING CREEK WATERSHED: A HIGH QUALITY-TROUT STOCKING FISHERY (HQ-TSF) WATER COURSE

ONE CALL NOTE

NO SCALE

1-800-242-1776

PA One Call System, Inc.

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL

PA One Call System, Inc.

1-800-242-1776

PA One Call System, Inc.

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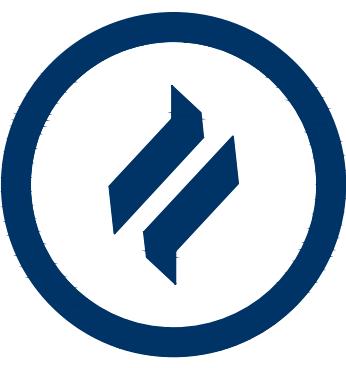
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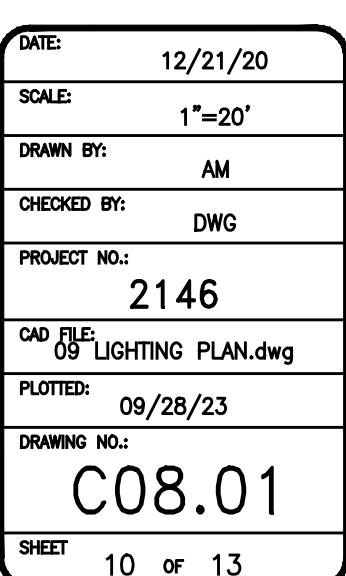
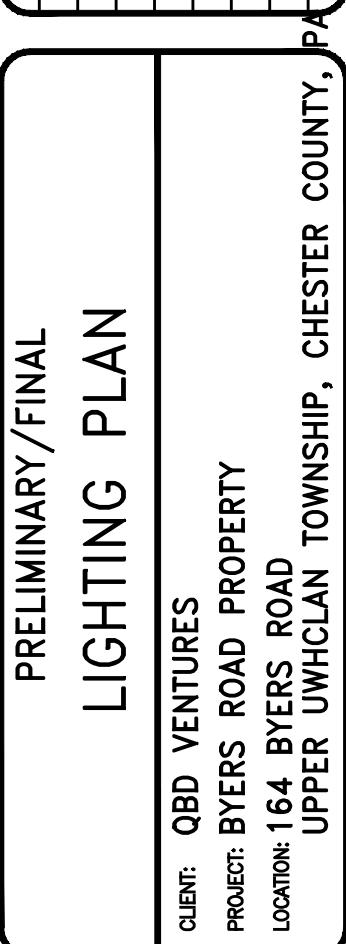
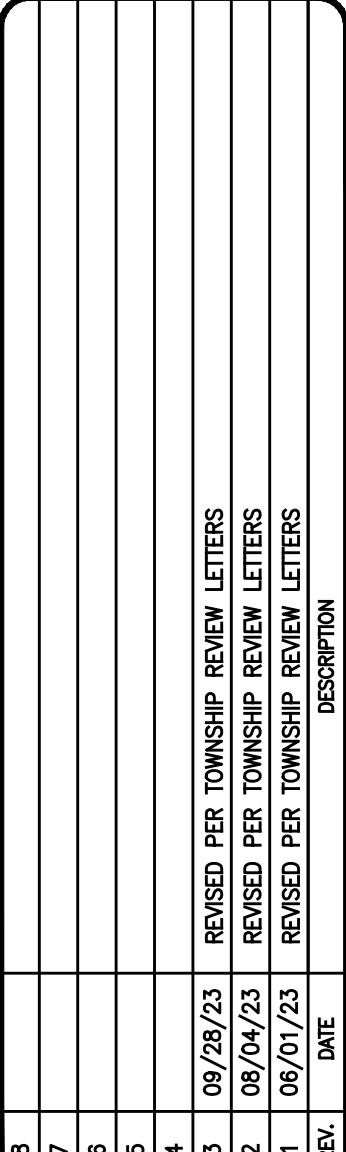
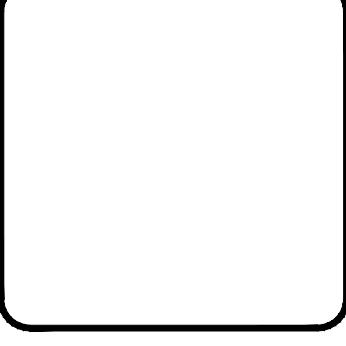
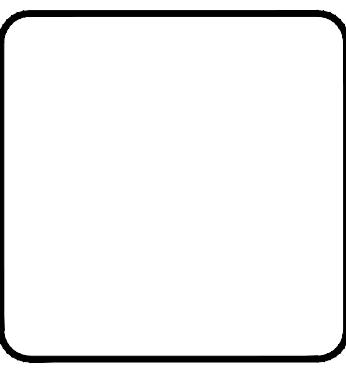
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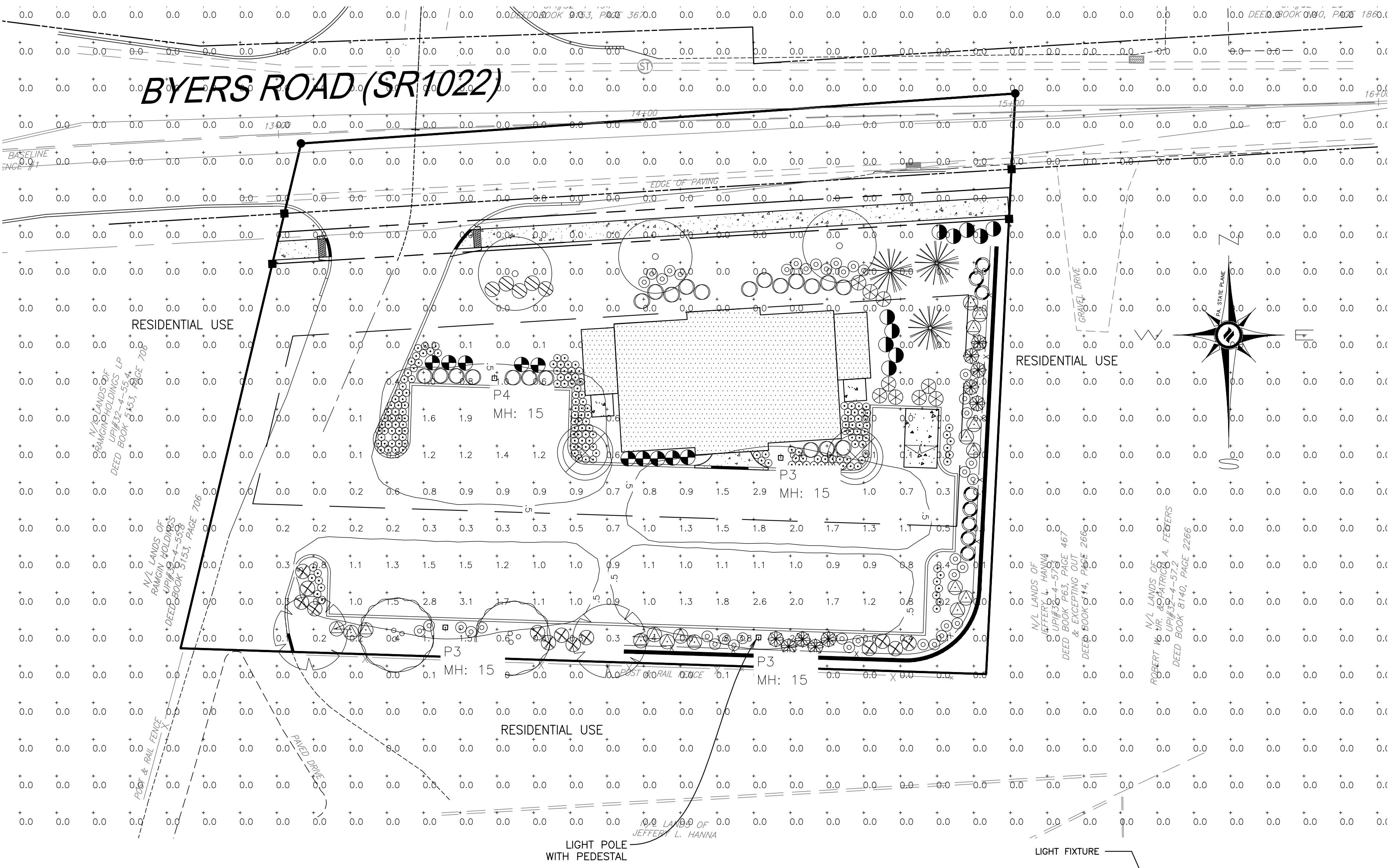


GENERAL NOTES:

1. POST APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
2. THE TOWNSHIP RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION NIGHTTIME INSPECTIONS TO VERIFY COMPLIANCE WITH CONDITIONS MADE ON THE APPROVED PLAN, AND IF APPROPRIATE, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE TOWNSHIP.
3. NON-SECURITY LIGHTING FIXTURES SHALL BE EXTINGUISHED ONE HOUR AFTER CLOSE OF BUSINESS OR 11:00 P.M., WHICHEVER IS EARLIER. THE LIGHTING FIXTURES WILL BE CONTROLLED BY PHOTOCELL AND TIMER.
4. SECURITY LIGHTING LIGHT LEVELS ARE TO BE REDUCED TO 25% BETWEEN 11:00 P.M. AND DAWN. HOWEVER, AT THIS TIME, NO SECURITY LIGHTING IS PROPOSED.
5. A PROGRAMMABLE TIMER WITH DAYLIGHT SAVINGS TIME PROGRAMMABILITY, WITH BATTERY BACK-UP, SHALL BE UTILIZED TO AUTOMATICALLY CONTROL THE NON-SECURITY LIGHTS.
6. ALL EXTERIOR LIGHTING, INCLUDING BUT NOT LIMITED TO THAT FOR THE ILLUMINATION OF FLAG, SOFFIT, CANOPY, SIGN, FACADE, BUILDING ENTRANCE, AND WALKWAY SHALL COMPLY WITH SLDG SECTION 162.5.B.D.
7. ALL LIGHT POLES ADJACENT TO PARKING AREAS AND/OR DRIVEWAYS SHALL BE INSTALLED THREE (3) FEET FROM THE BACK OF THE CURB.

Luminaire Schedule						
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens
□	1	P4	0.900	NLS - NV-1-T4-16L-1-30K8-UNV-XX-XX-HSS	56	3539
□	3	P3	0.900	NLS - NV-1-T3-16L-1-30K8-UNV-XX-XX-HSS	56	3522

Calculation Summary										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z	PtSpcLr	PtSpcTb
East Vertical Calc	Illuminance	Fc	0.01	0.0	N.A.	N.A.	0 to 10	5	5	
South Vertical Calc	Illuminance	Fc	0.03	0.1	0.0	N.A.	0 to 10	5	5	
West Vertical Calc	Illuminance	Fc	0.01	0.0	0.0	N.A.	N.A.	10 to 0	5	5
Parking Lot	Illuminance	Fc	1.21	3.7	0.2	6.05	18.50			

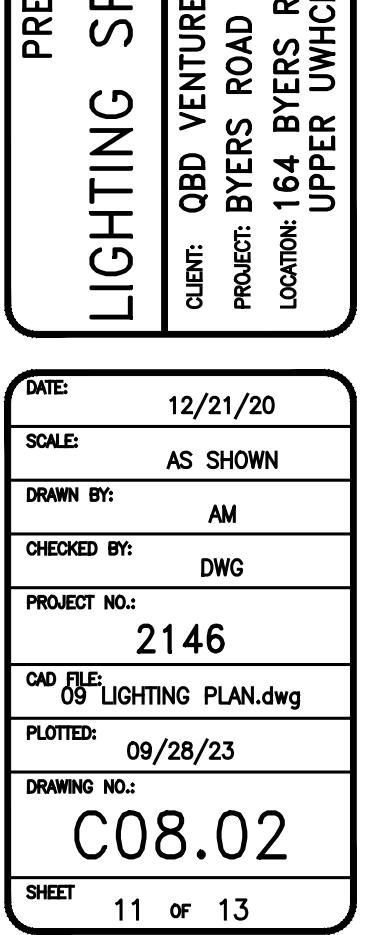
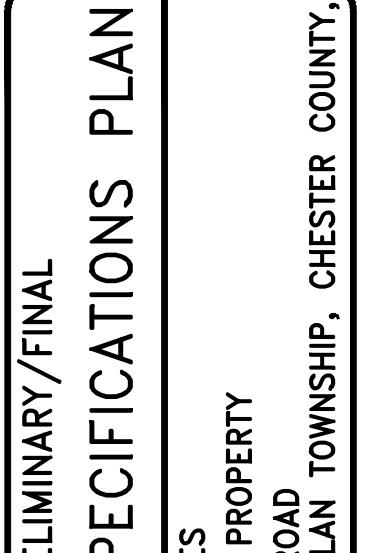
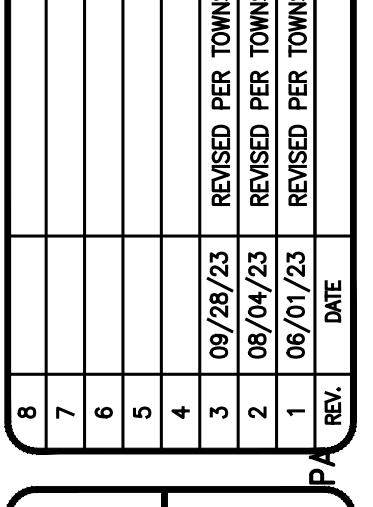
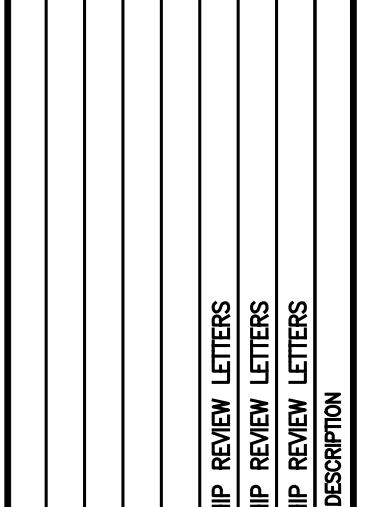
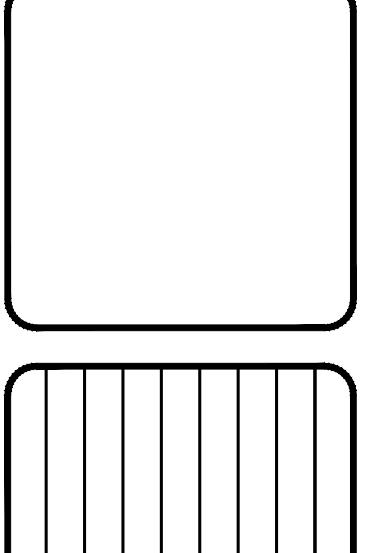
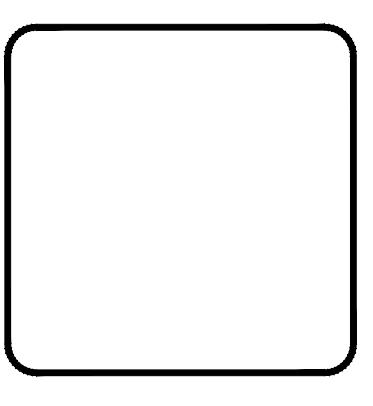


LIGHTING PLAN

SCALE: 1"=20'
GRAPHIC SCALE
1 inch = 20 feet

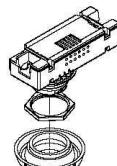
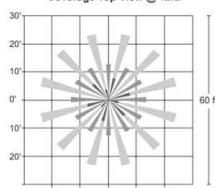
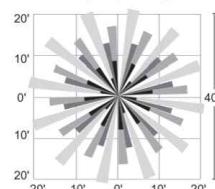
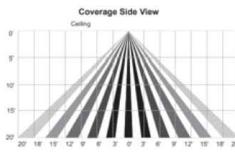
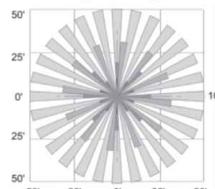
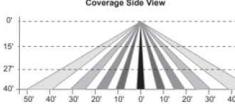
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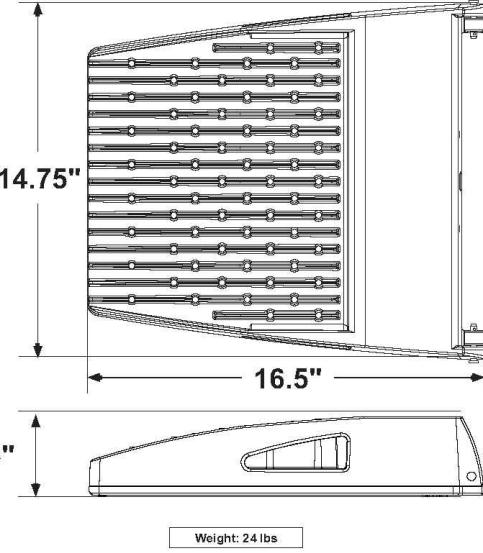
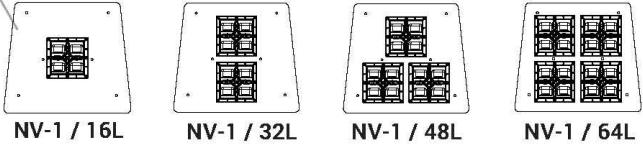
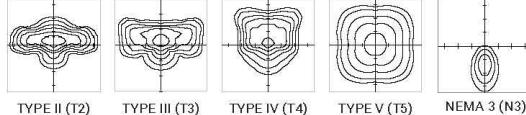
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PROP. PROPERTY LINE	—	PROPOSED CONTOUR
EX. RIGHT-OF-WAY	—	EXISTING SPOT ELEV.
PROP. RIGHT-OF-WAY	x 123.00	NEW SPOT ELEV.
■ PROP. MONUMENT		GEB2
○ EX. IRON PIPE		
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PROP. EASEMENT		
EX. WETLANDS		
□ EX. LIGHT POLE		
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EX. RIGHT-OF-WAY	—	EX. EDGE OF PAVING
PROP. PROPERTY LINE	—	EX. EDGE OF PAVING
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EX. RIGHT-OF-WAY	—	EX. FENCE
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EX. RIGHT-OF-WAY	—	EX. FENCE
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EX. MONUMENT		EX. SIGN
EX. IRON PIPE		SOILS TYPE
EX. EASEMENT		EX. PARKING SPACES
PROP. EASEMENT		PROP

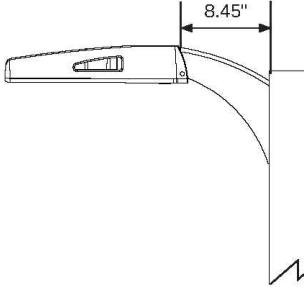
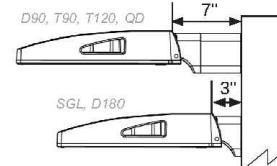
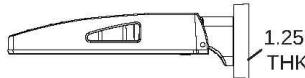
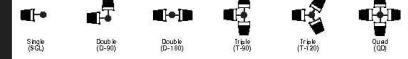


Submitted by Penn Lighting Associates	Penn Lighting ASSOCIATES	Job Name: Byers Road Property - Precon	Catalog Number: NV-1-T4-16L1-1-30K8-UNV-XX-XX-HSS Notes:	Type: P4 PENN23-226269				
NLS LIGHTING								
FORM AND FUNCTION				NV-1 AREA, SITE & ROADWAY				
<ul style="list-style-type: none"> Sleek, low profile housing Spec grade performance Engineered for optimum thermal management Low depreciation rate Reduces energy consumption and costs up to 65% Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project Optical system designed for: <ul style="list-style-type: none"> - Parking Lots - Auto Dealerships - General Area Lighting 								
CONSTRUCTION								
<ul style="list-style-type: none"> Die Cast Aluminum External cooling fins Corrosion resistant external hardware One-piece silicone gasket ensures IP-65 seal for electronics compartment One-piece Optics Plate™ mounting silicone Micro Optics Two-piece silicone Micro Optic system ensures IP-67 level seal around each PCB Grade 2 Clear Anodized Optics Plate™ standard 								
FINISH								
<ul style="list-style-type: none"> 3-5 mils electrostatic powder coat. NLS' standard high-quality finishes prevent corrosion, protects against extreme environmental conditions 								
WARRANTY								
Five-year limited warranty for drivers and LEDs.								
LED WATTAGE CHART								
	16L	32L	48L	64L				
350 millamps	18w	-	-	-				
500 millamps	28w	-	-	-				
700 millamps	38w	71w	104w	138w				
1050 millamps	58w	108w	158w	205w				
Project Name:			Type:					
Cat#	Light Dist.	# of LEDs	Millamps	Kelvin	Volts	Mounting	Color	Options
NV-1 (NV-1)	Type 2 (T2)	16 (16L)	350 (35)	2700K, 70 CRI (27K7)①	120-277 (UNV)	Architectural Sweep Arm (ASA)	Bronze Textured (BRZ)	Bird Spikes (BS) Marine Grade Finish (MGF) Optic Plate Painted to Match Fixture (OPP)
	Type 3 (T3)	32 (32L)	530 (53)	2700K, 80 CRI (27K8)①	347-480 (HV)	Direct Pole 3" Arm Single D180 (DPS3)①	White Textured (WHT)	Optic Plate Painted to Match Fixture (OPP)
	Type 4 (T4)	48 (48L)	700 (7)	3000K, 70 CRI (30K7)①		Direct Pole 7" Arm D180, D90, T90, T120, Quad (DPS7)①	Smooth White Gloss (SWT)	Nema 7-Pin Receptacle (PE7) Phone Jack (PHJ) Receptacle + Shunting Cap (PER)
	Type 5 (T5)	64 (64L)	1050 (1)	3000K, 80 CRI (30K8)①		Knuckle Mount (KM)	Silver (SVR)	FSP-211 with Motion Sensor (FSP-211)① 21'-20' Heights (FSP-40) 21'-40' Heights
	Nema 2 24° Narrow Beam (N2)			3500K, 80 CRI (35K8)		Wall Mount (WM)	Black Textured (BLK)	Quick Mount Bracket (QMB) Retrofit Mount Bracket (RQMB)
	Nema 3 30° Narrow Beam (N3)			4000K, 70 CRI (40K7)		Trunnion Mount (TM)①	Smooth Black Gloss (SBK)	Round Pole Adaptor 3"-4" Pole (RPA4) Round Pole Adaptor 5"-6" Pole (RPA5)
				4000K, 80 CRI (40K8)①		Tennis Arm (TA)	Graphite Textured (GPH)	Rotated Up (RU) Rotated Out Right (RO)
				5000K, 70 CRI (50K7)		Mast Arm (MA)	Grey Textured (GRY)	Automated House Side Shield (AHS)
				5000K, 80 CRI (50K8)①			Custom (CS)	House Side Shield (HSS)①
<p>Notes:</p> <ul style="list-style-type: none"> ① Consult Factory for Lead Time. Consult Factory for 90 CRI Requests. ② For Found Pole Specify PPA or RPAS ③ Standard finish is stainless steel. Can be painted to match fixture ④ NLS is not applicable for 120-277 ⑤ NLS is not applicable with Nema 2 and Nema 3 Optics ⑥ 3000K or lower must be selected to meet International Dark-Sky Association certification. 								
REV. 12.01.22								
Submitted On: Jul 31, 2023					1/11			
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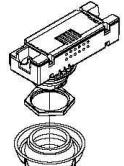
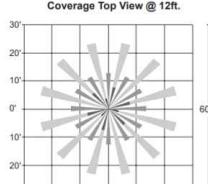
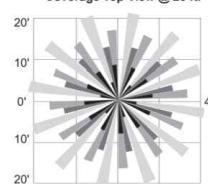
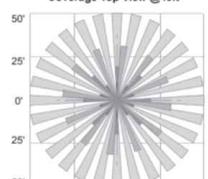
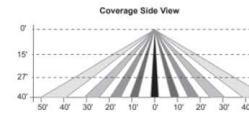
Submitted by Penn Lighting Associates	Job Name: Byers Road Property - Precon	Catalog Number: NV-1-T4-16L-1-30K8-UNV-XX-XX-HSS Notes:	Type: P4 PENN23-226269
PRODUCT SPECIFICATIONS			
<p>ELECTRICAL</p> <ul style="list-style-type: none"> • 120-277 Volts (UNV) or 347-480 Volts (HV) • 0-10V dimming driver • Driver power factor at maximum load is $\geq .95$, THD maximum load is 15% • LED Drivers Ambient Temp. Min is -40°C and Ambient Temp. Max ranges from 50°C to 55°C and, in some cases, even higher. Consult the factory for re-validation by providing the fixture catalog string before quoting and specifying it. • All internal wiring UL certified for 600 VAC and 105°C • All drivers, controls, and sensors housed in enclosed IP65 compartment • CRI 70, 80 or 90 • Color temperatures: 2700K, 3000K, 3500K, 4000K, 5000K • Surge Protection: 20kVA supplied as standard. <p>CONSTRUCTION</p> <ul style="list-style-type: none"> • Die Cast Aluminum • External cooling fins • Corrosion resistant external hardware • One-piece silicone gasket ensures IP65 seal for electronics compartment • One-piece Optics Plate™ mounting silicone Micro Optics • Two-piece silicone Micro Optic system ensures IP67 level seal around each PCB • Grade 2 Clear Anodized Optics Plate™ standard <p>OPTIONS</p> <ul style="list-style-type: none"> • BIRD SPIKES (BS) - Offers a practical and humane deterrent for larger bird species and provides a cost-effective long-term solution to nuisance bird infestations and protects your property. • MARINE GRADE FINISH (MGF) - A multi-step process creating protective finishing coat against harsh environments. Chemically washed in a 5 stage cleaning system. Pre-baked. Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer. Oven Baked. Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness. • OPTIC PLATE PAINTED TO MATCH FIXTURE (OPP) - Optic plate is clear anodized as standard. The optic plate can be powder coated to match the finish of the fixture. • QUICK MOUNT BRACKET (QMB) - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Has a 2"x4" Drill Pattern. • RETROFIT MOUNT BRACKET - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Drill Pattern is adjustable from 2"x4" to 2"x6". • ROUND POLE ADAPTER (RPA) - When using round poles, specify Round Pole Adapter (RPA). Specify RPA4 when installing on 3"-4" round poles, and RPA5 when installing on 5"-6" round poles. • ROTATED OPTICS (ROL) (ROR) - Rotated optics are designed for perimeter lighting for auto dealerships • SHIELDS (HSS, AHS) - House Side Shield (HSS) is designed for full property line cut-off. Automotive House Side Shield (AHS) is a single-sided shield allowing partial cut-off on either side or front of luminaire. • BLACK HARDWARE (BH) - Optional black, zinc coated steel hardware. • BLACK OPTIC FRAME (BOF) - Optional black optic frame. Standard is white. 			
<p>CONTROL OPTIONS</p> <ul style="list-style-type: none"> • FSP-211 (FSP-X) - Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution. • All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles. • FSP-20 mounting heights 9-20 feet • FSP-40 mounting heights 21-40 feet. • Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field. • FSPR-100 commissioning remote is required to change sensor settings. Please contact factory for ordering. • Controls Agnostics: Please contact factory for your preferred controls option. <ul style="list-style-type: none"> • NEMA 7-PIN RECEPTACLE (PE7) - An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect. • PHOTOCELL + RECEPTACLE (PCR) - 7-Pin Receptacle and Electronic Twist Lock Photocell for dusk to dawn operation. • RECEPTACLE + SHORTING CAP (PER) - 7-Pin Receptacle and Shorting Cap. <p>FINISH</p> <ul style="list-style-type: none"> • 3-5 mils electrostatic powder coat. • NLS Light's standard high-quality finishes prevent corrosion protects against and extreme environmental conditions <p>WARRANTY</p> <p>Five-year limited warranty for drivers and LEDs.</p> <p>OPTICS</p> <p>Silicone optics high thermal stability and light output provide higher powered LEDs with minimized lumen depreciation. UV stability with scratch resistance increases exterior application durability. Silicone optics do not yellow, crack or brittle over time</p> <p>LISTINGS</p> <ul style="list-style-type: none"> • Certified to UL 1598 • UL 8750 • CSA C22.2 No. 250.0 • DesignLights Consortium® (DLC) • DesignLights Consortium Premium® (DLC) • IP65/ IP67 Rated • 3G Vibration Rated per ANSI C136.31-2010 • IDA Dark Sky Approved • IK10 Rated 			
             <p>The information and specifications on this document are subject to change without any notification. All values are design, nominal, typical or prorated values when measured under internal and external laboratory conditions.</p>			
NLS LIGHTING	701 Kingshill Place, Carson, CA 90746 Call Us Today (310) 341-2037	nslighting.com	2
Submitted On: Jul 31, 2023			
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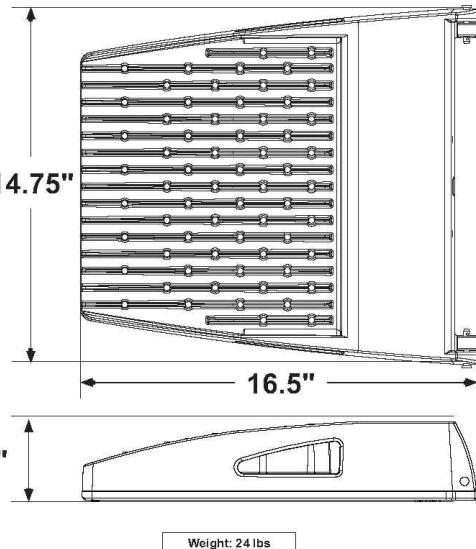
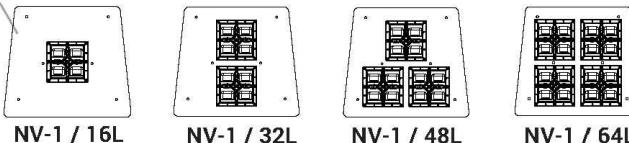
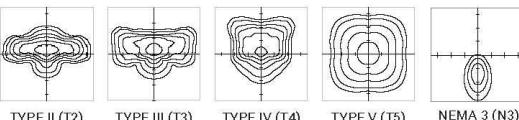
Submitted by Penn Lighting Associates Penn Lighting ASSOCIATES	Job Name: Byers Road Property - Precon	Catalog Number: NV-1-T4-16L-1-30K8-UNV-XX-XX-HSS Notes:	Type: P4 PENN23-226269
PRODUCT SPECIFICATIONS			
CONTROLS <ul style="list-style-type: none"> • DIMMING CONTROL (FSP)—Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution. <ul style="list-style-type: none"> • All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles. • FSP-8 mounting heights 8 feet and below • FSP-20 mounting heights 9-20 feet • FSP-40 mounting heights 21-40 feet. • Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field. 			
			
FSP-8	Coverage Top View @ 12ft.	Coverage Side View	
			
FSP-20	Coverage Top View @ 20 ft.	Coverage Side View	
			
FSP-40	Coverage Top View @40ft	Coverage Side View	
			
 701 Kingshill Place, Carson, CA 90746 Call Us Today (310) 341-2037 nlslighting.com			
3			
Submitted On: Jul 31, 2023	3/11	Index Page	

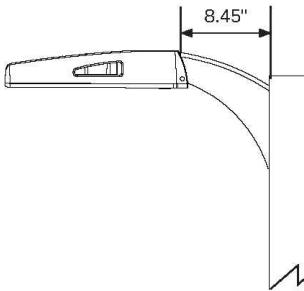
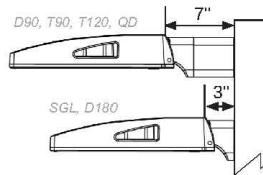
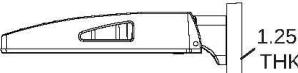
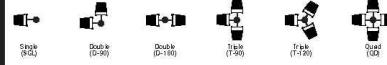
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PRODUCT SPECIFICATIONS			
 <p>Weight: 24 lbs</p>			
OPTICAL CONFIGURATIONS Rotatable Optics (ROR) Rotated Right, (ROL) Rotated Left options available. Optics field and factory rotatable.			
(OPP)  <p>NV-1 / 16L NV-1 / 32L NV-1 / 48L NV-1 / 64L</p>			
<small>* OPTIC PLATE PAINTED TO MATCH FIXTURE FINISH (OPP) – Optic Plate standard clear anodized, Grade 2. When (OPP) specified, Optic Plate finish will match fixture finish.</small>			
OPTICS Silicone optics high photothermal stability and light output provides higher powered LEDs with minimized lumen depreciation LED life. UV and thermal stability with scratch resistance increases exterior application durability.			
<ul style="list-style-type: none"> • IES Types  <p>TYPE II (T2) TYPE III (T3) TYPE IV (T4) TYPE V (T5) NEMA 3 (N3)</p>			
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Submitted by Penn Lighting Associates	Penn Lighting ASSOCIATES	Job Name: Byers Road Property - Precon	Catalog Number: NV-1-T3-16L-1-30K8-UNV-XX-XX-HSS Notes:	Type: P3 PENN23-226269
PRODUCT SPECIFICATIONS				
<p>ELECTRICAL</p> <ul style="list-style-type: none"> • 120-277 Volts (UNV) or 347-480 Volts (HV) • 0-10V dimming driver • Driver power factor at maximum load is ≥ 95, THD maximum load is 15% • LED Drivers Ambient Temp. Min is -40°C and Ambient Temp. Max ranges from 50°C to 55°C and, in some cases, even higher. Consult the factory for re-validation by providing the fixture catalog string before quoting and specifying it. • All internal wiring UL certified for 600 VAC and 105°C • All drivers, controls, and sensors housed in enclosed IP65 compartment • CRI 70, 80 or 90 • Color temperatures: 2700K, 3000K, 3500K, 4000K, 5000K • Surge Protection 20kVA supplied as standard. <p>CONSTRUCTION</p> <ul style="list-style-type: none"> • Die Cast Aluminum • External cooling fins • Corrosion resistant external hardware • One-piece silicone gasket ensures IP65 seal for electronics compartment • One-piece Optics Plate™ mounting silicone Micro Optics • Two-piece silicone Micro Optic system ensures IP67 level seal around each PCB • Grade 2 Clear Anodized Optics Plate™ standard <p>OPTIONS</p> <ul style="list-style-type: none"> • BIRD SPIKES (BS) - Offers a practical and humane deterrent for larger bird species and provides a cost-effective long-term solution to nuisance bird infestations and protects your property. • MARINE GRADE FINISH (MGF) - A multi-step process creating protective finishing coat against harsh environments. Chemically washed in a 5 stage cleaning system. Pre-baked. Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer. Oven Baked. Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness. • OPTIC PLATE PAINTED TO MATCH FIXTURE (OPP) - Optic plate is clear anodized as standard. The optic plate can be powder coated to match the finish of the fixture. • QUICK MOUNT BRACKET (QMB) - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Has a 2"x4" Drill Pattern. • RETROFIT MOUNT BRACKET - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Drill Pattern is adjustable from 2"x4" to 2"x6". • ROUND POLE ADAPTER (RPA) - When using round poles, specify Round Pole Adapter (RPA). Specify RPA4 when installing on 3'-4' round poles, and RPA5 when installing on 5'-6" round poles. • ROTATED OPTICS (ROL) (ROR) - Rotated optics are designed for perimeter lighting for auto dealerships. • SHIELDS (HSS, AHS) - House Side Shield (HSS) is designed for full property line cut-off. Automotive House Side Shield (AHS) is a single-sided shield allowing partial cut-off on either side or front of luminaire. • BLACK HARDWARE (BH) - Optional black, zinc coated steel hardware. • BLACK OPTIC FRAME (BOF) - Optional black optic frame. Standard is white. 				
<p>CONTROL OPTIONS</p> <ul style="list-style-type: none"> • FSP-11 (FSP-X) - Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution. • All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles. • FSP-20 mounting heights 9-20 feet • FSP-40 mounting heights 21-40 feet. • Includes 5 dimming event cycles, 0-10V dimming with motion sensing re-programmable in the field. • FSR-100 commissioning remote is required to change sensor settings. Please contact factory for ordering. • Controls Agnostics: Please contact factory for your preferred controls option. • NEMA 7-PIN RECEPTACLE (PER) - An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect. • PHOTOCELL + RECEPTACLE (PCR) - 7-Pin Receptacle and Electronic Twist Lock Photocell for dusk to dawn operation. • RECEPTACLE + SHORTING CAP (PER) - 7-Pin Receptacle and Shorting Cap. <p>FINISH</p> <ul style="list-style-type: none"> • 3-5 mils electrostatic powder coat. • NLS Light's standard high-quality finishes prevent corrosion protects against and extreme environmental conditions <p>WARRANTY</p> <p>Five-year limited warranty for drivers and LEDs.</p> <p>OPTICS</p> <p>Silicone optics high thermal stability and light output provide higher powered LEDs with minimized lumen depreciation. UV stability with scratch resistance increases exterior application durability. Silicone optics do not yellow, crack or brittle over time.</p> <p>LISTINGS</p> <ul style="list-style-type: none"> • Certified to UL 1598 • UL 8750 • CSA C22.2 No. 250.0 • DesignLights Consortium® (DLC) • DesignLights Consortium Premium® (DLC) • IP65/ IP67 Rated • 3G Vibration Rated per ANSI C136.31-2010 • IDA Dark Sky Approved • IK10 Rated 				
 <p>The information and specifications on this document are subject to change without any notification. All values are design, nominal, typical or prorated values when measured under internal and external laboratory conditions.</p>				
<p>NLS LIGHTING</p> <p>701 Kingshill Place, Carson, CA 90746 Call Us Today (310) 341-2037</p> <p>nlsighting.com</p>				

Submitted by Penn Lighting Associates	Catalog Number: NV-1-T3-16L1-30K8-UNV-XX-XX-HSS Notes:	Type: P3 PENN23-226269
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FSP-40	<p>Coverage Top View @ 40ft</p>  <p>Coverage Side View</p> 	
 NLS LIGHTING		
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QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES
<u>SECTION 162-57. LANDSCAPE DESIGN STANDARDS (SALDO)</u>					
(LANDSCAPE DESIGN STANDARDS)					
STREET TREES					
3		<i>QUERCUS PALUSTRIS</i>	PIN OAK	3- 3.5" CAL., 14- 16' HT., SPACING AS SHOWN	
		(PLEASE NOTE ALTERNATE LOCATION)			
(MINIMUM PLANTING STANDARDS)					
BUILDING AREA LANDSCAPING					
2		<i>PRUNUS SUBHIRTILLA 'AUTUMNALIS</i>	AUTUMN FLOWERING CHERRY	3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B	
5		<i>ILEX VERTICILLATA</i>	WINTERBERRY HOLLY	24-30" HT., 24-30" SP.	
3		<i>CLETHERA ALNIFOLIA 'HUMMINGBIRD'</i>	HUMMINGBIRD SUMMERSWEET	24-30" HT., 24-30" SP.	
5		<i>CEPHALOTAXUS HARRINGTONIA</i>	JAPANESE PLUM YEW	24-30" HT., 24-30" SP.	
14		<i>HYPERICUM CALYCINUM 'SUNBURST'</i>	ST. JOHNS WORT	24-30" HT., 24-30" SP.	
15		<i>ILEX GLABRA 'SHAMROCK'</i>	DWARF SHAMROCK INKBERRY	24-30" HT., 24-30" SP.	
PARKING & LOADING AREA LANDSCAPING, & PARKING LOT SCREEN & INTERIOR SHADE TREES					
3		<i>QUERCUS PHELLOS</i>	WILLOW OAK	3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B.	
2		<i>TEILIA CORDATA 'GREENSPIRE'</i>	GREENSPIRE LINDEN	3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B.	
6		<i>CLETHERA ALNIFOLIA 'HUMMINGBIRD'</i>	HUMMINGBIRD SUMMERSWEET	24-30" HT., 24-30" SP.	
5		<i>CEPHALOTAXUS HARRINGTONIA</i>	JAPANESE PLUM YEW	24-30" HT., 24-30" SP.	
7		<i>ILEX GLABRA 'SHAMROCK'</i>	DWARF SHAMROCK INKBERRY	24-30" HT., 24-30" SP.	
169		<i>JUNIPERUS CONFERTA</i>	SHORE JUNIPER	1 GAL CONT.	
EXISTING ROAD FRONTAGE REQUIREMENT					
5		<i>ILEX x MESERVEAE 'CHINA GIRL'</i>	CHINA GIRL HOLLY	24-30" HT., 24-30" SP.	
5		<i>ILEX VERTICILLATA</i>	WINTERBERRY HOLLY	24-30" HT., 24-30" SP.	
TRACT BOUNDARY REQUIREMENT					
3		<i>CRYPTOMERIA JAPONICA 'RADICANS'</i>	JAPANESE CEDAR	8' HT., 4-5' SP., B&B	
8		<i>CORNUS SERICEA</i>	RED TWIG DOGWOOD	24-30" HT., 24-30" SP.	
27		<i>HYPERICUM CALYCINUM 'SUNBURST'</i>	ST. JOHNS WORT	24-30" HT., 24-30" SP.	
10		<i>ITEA VIRGINICA 'LITTLE HENRY'</i>	LITTLE HENRY SWEETSPIRE	24-30" HT., 24-30" SP.	
13		<i>MYRICA PENNSYLVANICA</i>	NORTHERN BAYBERRY	24-30" HT., 24-30" SP.	
17		<i>VIBURNUM TRILOBUM 'COMPACTUM'</i>	COMPACT AMERICAN CRANBERRYBUSH	24-30" HT., 24-30" SP.	
10,000 SF.		SEEDED LAWN AREA			

NOTES:
1. ALL DISTURBED AREAS ARE TO BE FINE GRADED, RAKED AND SEEDED.
2. CONTRACTOR IS TO VERIFY SEEDING QUANTITY PRIOR TO BID.

LEGEND

SITE PLAN NOTES:

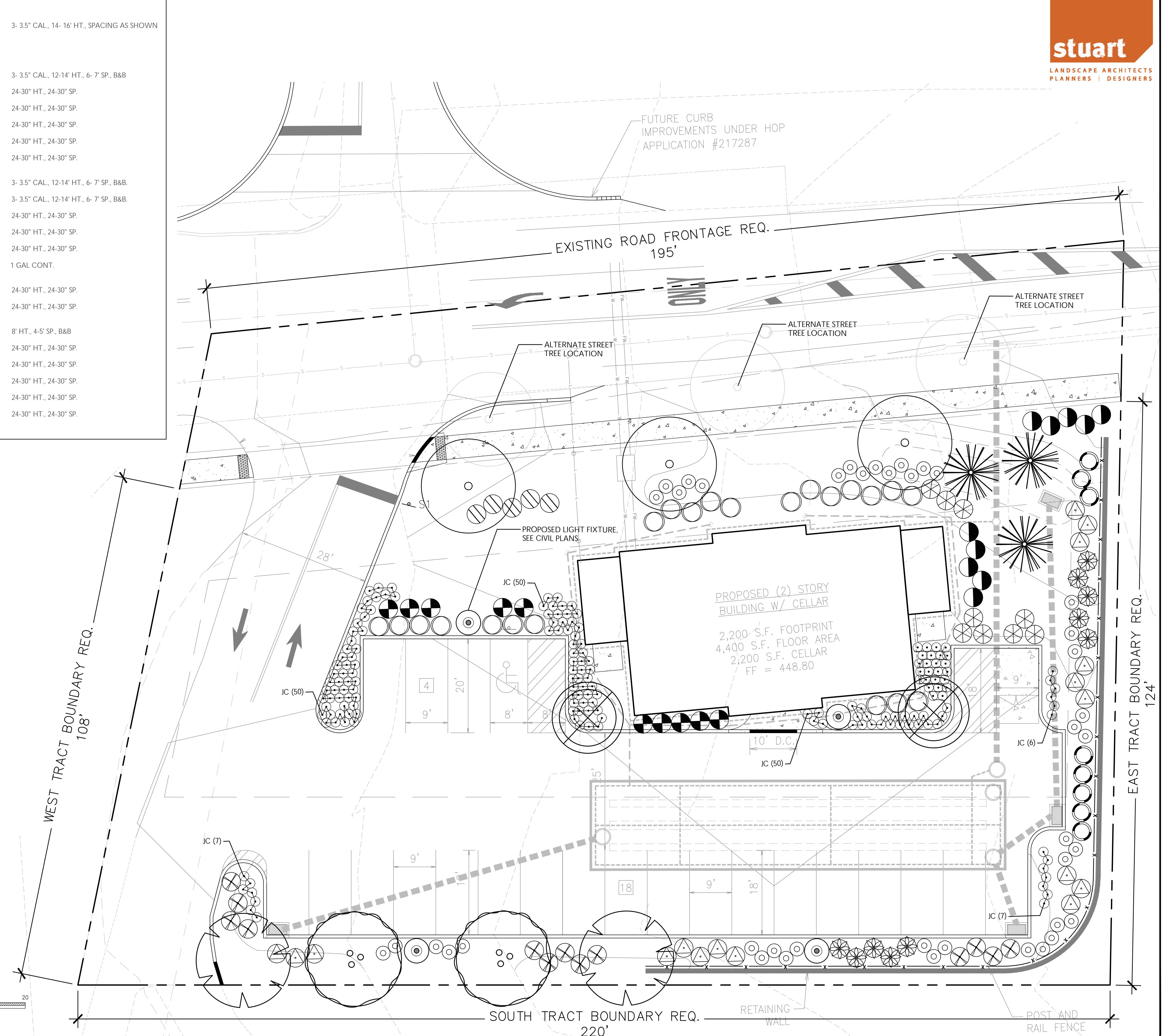
1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN TO BE USED FOR LANDSCAPING AND SITE IMPROVEMENT PURPOSED ONLY.
3. PLANS CREATED FROM DRAWINGS FROM D.L. HOWELL & ASSOCIATES, INC. ENGINEERING DATED, 02/16/2023.
4. LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING TREES AND PLANT MATERIAL WITHIN THE AREA OF PROPOSED IMPROVEMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS OFF-SITE, CLEAN-UP OF ALL PAVED AREAS (ROADWAYS, SIDEWALKS, ETC.); AND RESTORATION OF ALL DISTURBED LAWN AREAS.
7. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES DAMAGED.
8. CONTRACTOR SHALL PROVIDE SCREENED PLANTING SOIL WHERE PLANTING IS TO OCCUR. 36" DEPTH. 6" DEPTH AT LAWN AREAS.
9. FOLLOWING COMPLETION OF ALL PLANTING INSTALLATION WORK, THE CONTRACTOR SHALL BE REQUIRED TO RESTORE ALL DISTURBED LAWN AREAS.
10. NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM AN UNDERGROUND UTILITY.
11. ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS SHOWN OTHERWISE.
12. VERIFY LAYOUT OF ALL PROPOSED WORK TO EXISTING CONDITIONS. REPORT DISCREPANCIES BEFORE ANY CLEARING OR EXCAVATION IS DONE.
13. PROVIDE STAKED LAYOUT ON SITE FOR OWNER AND LANDSCAPE ARCHITECT'S REVIEW PRIOR TO COMMENCING WORK.
14. ALL DIMENSIONS SHOWN ARE TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
15. PLEASE NOTE, CLIENT DID NOT RETAIN STUART AND ASSOCIATES, LLC.. TO PROVIDE LONG TERM MAINTENANCE SPECIFICATIONS FOR THE LANDSCAPE MATERIAL.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PA ONE CALL AND LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY DIGGING OR PLANT REMOVAL OCCURS.
17. CONTRACTOR SHALL INSTALL SILT FENCE IN ANY AREAS WHERE SOIL MAY RUNOFF INTO PARKING AREAS OR INTO EXISTING INLETS.
18. FOLLOWING THE COMPLETION, THE EXISTING VEGETATION WILL BE INSPECTED FOR HEALTH AND QUALITY, AND IF NOT DEEMED IN GOOD CONDITION, REPLACED WITH THE EQUIVALENT COMPENSATORY PLANTINGS.
19. V.I.F. = VERIFY IN FIELD.

NOTE:

1. SEE PLANTING SCHEDULES AND CHARTS L9.00

GRAPHIC SCALE

1 inch = 10 feet

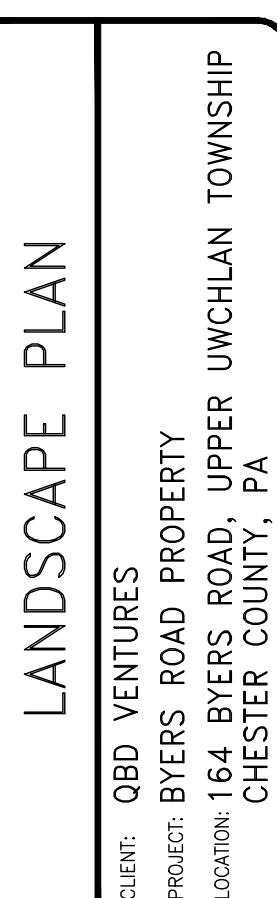
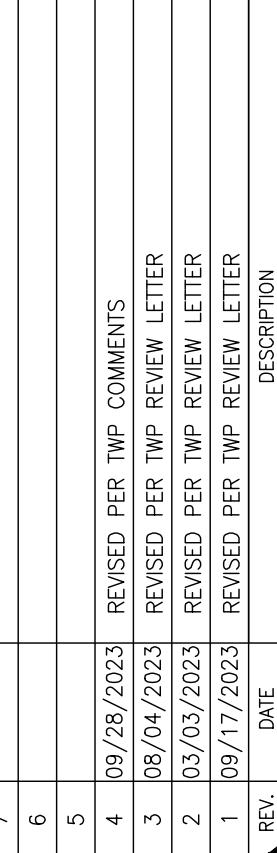
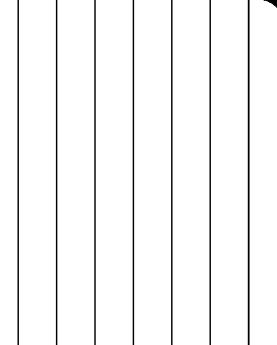


Stuart LANDSCAPE ARCHITECTS PLANNERS | DESIGNERS

DLHowell

Civil Engineering
Land Planning
Environmental
www.DLHowell.com

1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003



PRELIMINARY LANDSCAPE PLAN

DATE:	12/21/2021
SCALE:	1"=10'
DRAWN BY:	KKM
CHECKED BY:	PJS
PROJECT NO.:	2146
CAD FILE:	QBD VENTURES TLP.dwg
PLOTTED:	09/28/2023
DRAWING NO.:	C09.01
SHEET	12 of 17

PLANTING SCHEDULE

QTY	SYMBOL	SCIENTIFIC NAME SECTION 162-57: LANDSCAPE DESIGN STANDARDS (SALDO) (LANDSCAPE DESIGN STANDARDS)	COMMON NAME	SIZE	NOTES
3	●	QUERCUS PALUSTRIS	PIN OAK	3- 3.5" CAL., 14- 16' HT., SPACING AS SHOWN (PLEASE NOTE ALTERNATE LOCATION)	
2	●	PRUNUS SUBHIRTILLA 'AUTUMNALIS'	AUTUMN FLOWERING CHERRY	3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B	
5	●	ILEX VERTICILLATA	WINTERBERRY HOLLY	24-30" HT., 24-30" SP.	
3	●	CLETHERA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	24-30" HT., 24-30" SP.	
5	●	CEPHALOTAXUS HARRINGTONIA	JAPANESE PLUM YEW	24-30" HT., 24-30" SP.	
14	●	HYPERICUM CALYCINUM 'SUNBURST'	ST. JOHNS WORT	24-30" HT., 24-30" SP.	
15	●	ILEX GLABRA 'SHAMROCK'	DWARF SHAMROCK INKBERRY	24-30" HT., 24-30" SP.	
3	●	QUERCUS PHELLOS	WILLOW OAK	3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B.	
2	●	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B.	
6	●	CLETHERA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	24-30" HT., 24-30" SP.	
5	●	CEPHALOTAXUS HARRINGTONIA	JAPANESE PLUM YEW	24-30" HT., 24-30" SP.	
7	●	ILEX GLABRA 'SHAMROCK'	DWARF SHAMROCK INKBERRY	24-30" HT., 24-30" SP.	
169	●	JUNIPERUS CONFERTA	SHORE JUNIPER	1 GAL CONT.	
5	●	ILEX x MERSERVEAE 'CHINA GIRL'	CHINA GIRL HOLLY	24-30" HT., 24-30" SP.	
5	●	ILEX VERTICILLATA	WINTERBERRY HOLLY	24-30" HT., 24-30" SP.	
3	●	CRYPTOMERIA JAPONICA 'RADICANS'	JAPANESE CEDAR	8' HT., 4-5' SP., B&B	
8	●	CORNUS SERICEA	RED TWIG DOGWOOD	24-30" HT., 24-30" SP.	
27	●	HYPERICUM CALYCINUM 'SUNBURST'	ST. JOHNS WORT	24-30" HT., 24-30" SP.	
10	●	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY SWEETSPIRE	24-30" HT., 24-30" SP.	
13	●	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	24-30" HT., 24-30" SP.	
17	●	VIBURNUM TRILOMUM 'COMPACTUM'	COMPACT AMERICAN CRANBERRYBUSH	24-30" HT., 24-30" SP.	
10,000 SF.		SEEDED LAWN AREA			

NOTES:
1. ALL DISTURBED AREAS ARE TO BE FINE GRADED, RAKED AND SEDED.
2. CONTRACTOR IS TO VERIFY SEEDING QUANTITY PRIOR TO BID.

GENERAL PLANTING NOTES:

1. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR 18 MONTHS.
2. ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY.
3. ALL PLANT MATERIAL SHALL BE LAID OUT IN FIELD BY LANDSCAPE ARCHITECT.
- (NOTE: NO SHRUBS SHALL BE PLANTED UNTIL ALL TREE PLANTING IS COMPLETED.)
4. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED DURING INSTALLATION AND THROUGHOUT THE GUARANTEE PERIOD.
5. ALL PLANT MATERIAL SHALL BE WATERED BY CONTRACTOR AT LEAST THREE (3) TIMES IN ABSENCE OF NATURAL RAINFALL OR UNTIL THE END OF THE GUARANTEE PERIOD.
6. ALL TREES SHALL BE PROVIDED WITH A 3" DEEP SAUCER, CONSISTING OF SHREDDED OAK BARK MULCH.
7. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PLANT ACCORDING TO ANSI A300 PART 6.
8. CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT WITH NURSERY SOURCE OF ALL PLANT MATERIAL. LANDSCAPE ARCHITECT SHALL PERFORM A SITE VISIT TO INSPECT NURSERY SOURCE PRIOR TO DELIVERY OF ANY PLANT MATERIAL.
9. ALL TREES AND SHRUBS DELIVERED TO THE SITE SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ALL TREES AND SHRUBS SHALL HAVE WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
10. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE TOWNSHIP.
11. ANY PLANT MATERIAL EXHIBITING SIGNS OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT SHALL BE REJECTED.
12. ALL PROPOSED SHRUBS SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS, CONSISTING OF 3" OF OAK BARK MULCH.
13. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
14. LIFT AND SET THE TREE BY FOOTBALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
15. SET THE TOP OF THE ROOTBALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
16. AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/2 OF THE ROOTBALL.
17. PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH THE ANSI A300 SPECIFICATIONS. IF ADDITIONAL PRUNING IS NECESSARY, IT SHALL BE DONE BY A CERTIFIED ARBORIST.
18. REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.
19. DO NOT REMOVE TREE IDENTIFICATION TAGS UNTIL THE LANDSCAPE ARCHITECT HAS CONFIRMED CORRECT SPECIES MATCHES THE PROJECT PLANTING SCHEDULE.
20. LANDSCAPING MATERIALS SHALL BE FIELD ADJUSTED DURING INSTALLATION TO AVOID CONFLICT BETWEEN THE LIGHT FIXTURES, UTILITIES, AND TREE CANOPIES.

UPPER UWCHLAN TOWNSHIP - TOWNSHIP LANDSCAPING REQUIREMENTS
DISTRICT : C1 : VILLAGE COMMERCIAL DISTRICT

REQUIRED PROPOSED

CODE LANGUAGE

§162-57. LANDSCAPE DESIGN, INSTALLATION, AND MAINTENANCE STANDARDS (SALDO)

(C) LANDSCAPE DESIGN STANDARDS

6(b). STREET TREES SPACING SHALL BE NO GREATER THAN 50 FEET.

ROAD FRONTAGE = 195 FT. / 50' = 4 STREET TREES

4 DECIDUOUS TREES

3* (WAIVER REQ.)

7(c). THE INTERIOR OF A PARKING LOT SHALL HAVE 1 SHADE TREE FOR EVERY 5 PARKING SPACES.

22 SPACES / 5 = 4.4 SHADE TREES

5 DECIDUOUS TREES

SATISFIED BY PARKING & LOADING LANDSCAPING REQUIREMENT (BELOW)

(D) MINIMUM PLANTING STANDARDS

PER 1,000 SF OF GROSS BUILDING AREA - 2,200 SF

2 - (3-3.5" CAL. MIN.) DECIDUOUS TREE / 1,000 SF

2,200 SF / 1,000 SF = 2.2

2.2 x 2 = 4.4 DECIDUOUS TREES

5 DECIDUOUS TREES

2* (WAIVER REQ.)

1 - (8' HT/ MIN.) EVERGREEN TREE / 1,000 SF

2,200 SF / 1,000 SF = 2.2

2.2 x 1 = 2.2 EVERGREEN TREES

3 EVERGREEN TREES

0* (WAIVER REQ.)

PER 2,000 SF OF PARKING OR LOADING AREA - 8,370 SF

1 - DECIDUOUS TREE / 2,000 SF

8,370 SF / 2,000 SF = 4.2

4.2 x 1 = 4.2 DECIDUOUS TREES

5 DECIDUOUS TREES

5 DECIDUOUS TREES

1 - EVERGREEN TREE / 2,000 SF

8,370 SF / 2,000 SF = 4.2

4.2 x 1 = 4.2 EVERGREEN TREES

5 EVERGREEN TREES

0* (WAIVER REQ.)

4 - SHRUBS / 2,000 SF

8,370 SF / 2,000 SF = 4.2

4.2 x 4 = 16.8 SHRUBS

17 SHRUBS

18 SHRUBS AND 20 GROUNDCOVER PLANTINGS

PER 100 LF OF NEW AND EXISTING ROAD FRONTAGE

EXISTING ROAD FRONTAGE 195 LF

2 - DECIDUOUS TREE / 100 LF

195 LF / 100 LF = 1.9

1.9 x 2 = 3.8 DECIDUOUS TREES

4 DECIDUOUS TREES

0* (WAIVER REQ.)

1 - EVERGREEN TREE / 100 LF

195 LF / 100 LF = 1.9

1.9 x 1 = 1.9 EVERGREEN

2 EVERGREEN TREES

0* (WAIVER REQ.)

5 - SHRUBS / 100 LF

195 LF / 100 LF = 1.9

1.9 x 5 = 9.5 SHRUBS

10 SHRUBS

10 SHRUBS

PER 100 LF OF EXISTING TRACT BOUNDARY - 452 LF

1 - DECIDUOUS TREE / 100 LF

452 LF / 100 LF = 4.5

4.5 x 1 = 4.5 DECIDUOUS TREES

5 DECIDUOUS TREES

0* (WAIVER REQ.)

2 - EVERGREEN TREE / 100 LF

452 LF / 100 LF = 4.5

4.5 x 2 = 9 EVERGREEN TREES

9 EVERGREEN TREES

3* (WAIVER REQ.)

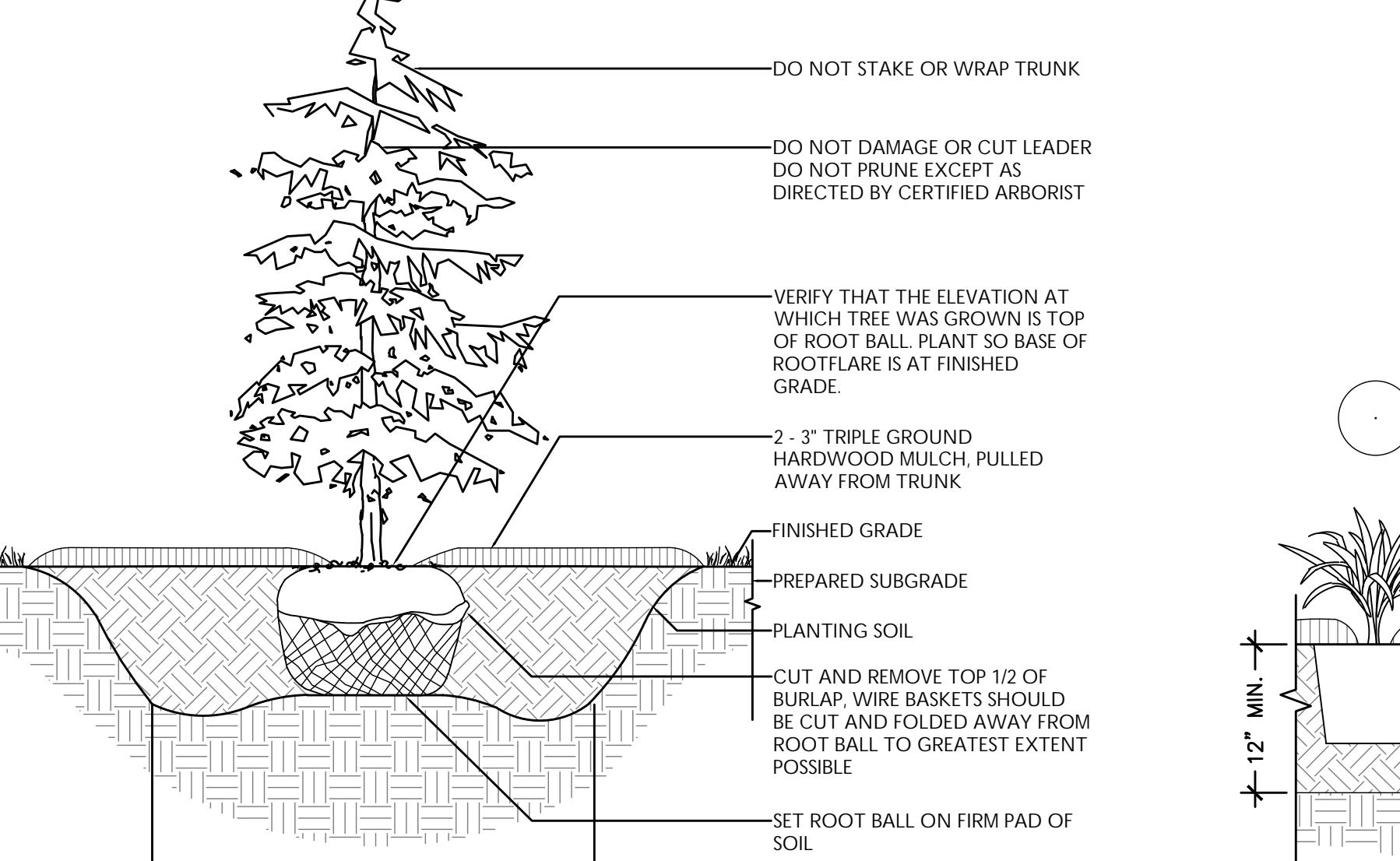
8 - SHRUBS / 100 LF

452 LF / 100 LF = 4.5

4.5 x 8 = 36 SHRUBS

36 SHRUBS

75 SHRUBS



4 EVERGREEN TREE PLANTING DETAIL, TYP.

SCALE : 1/2" = 1'-0"

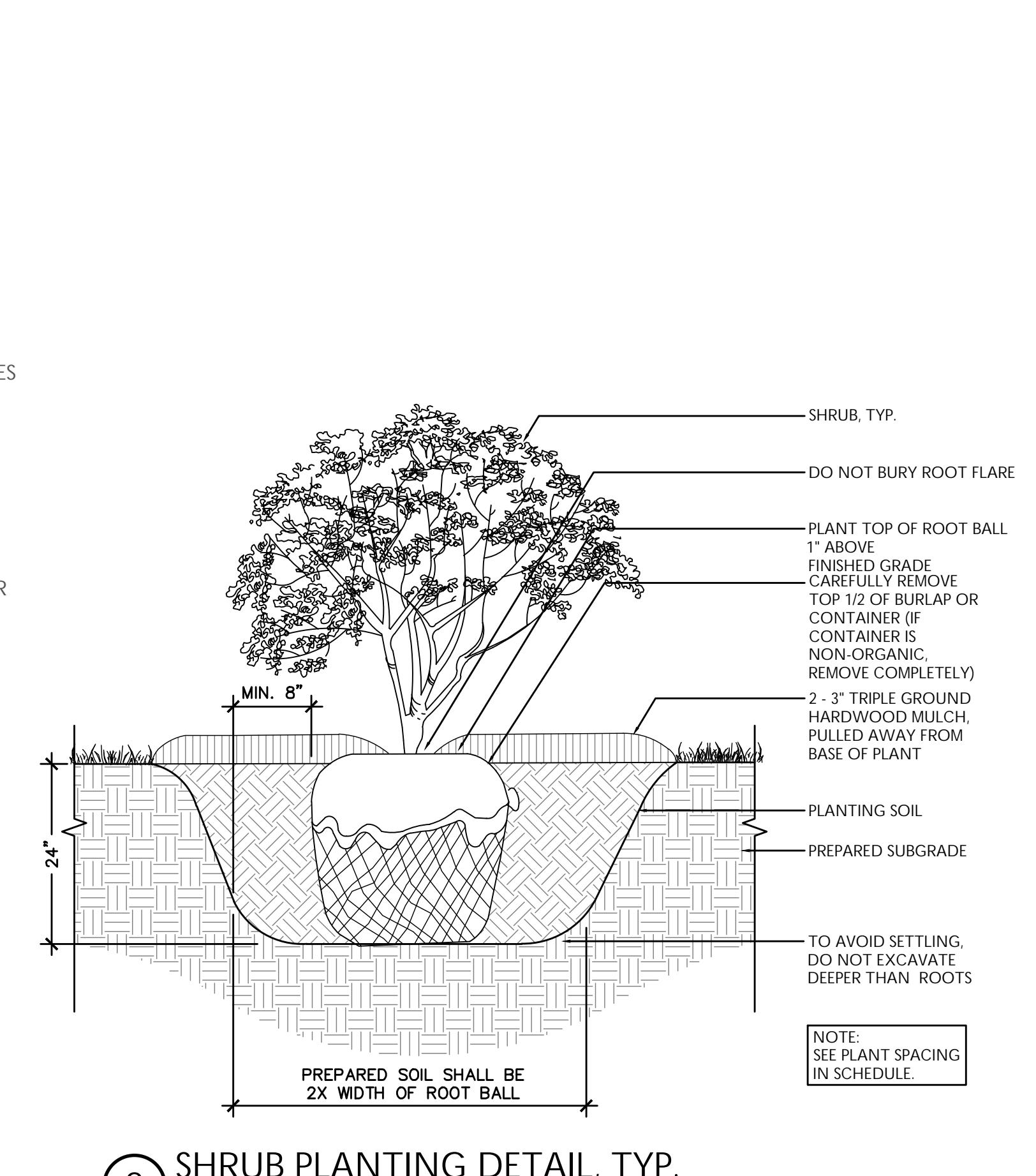
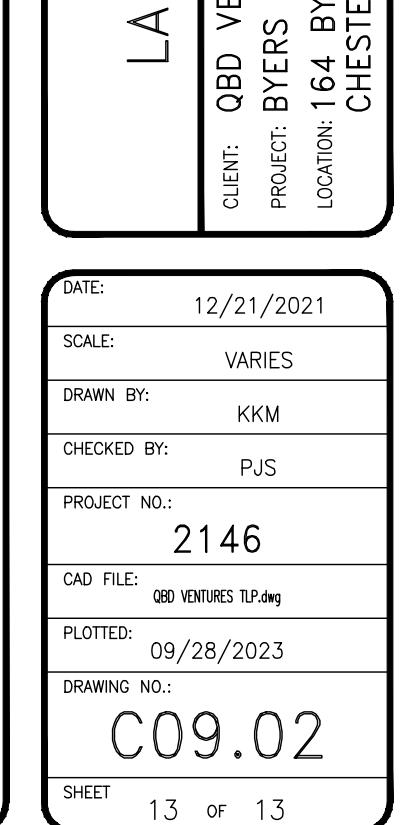
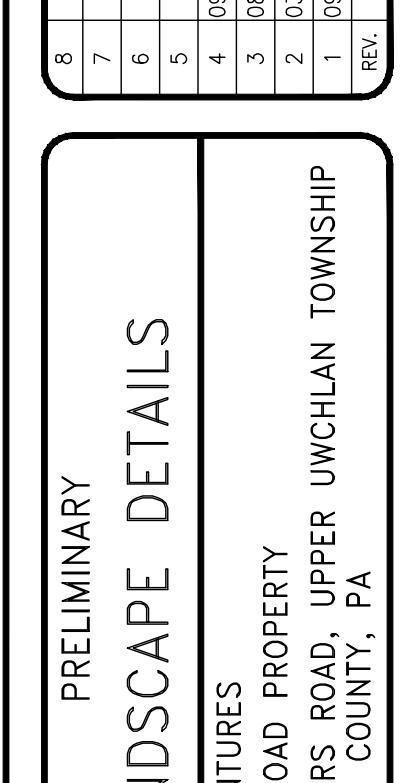
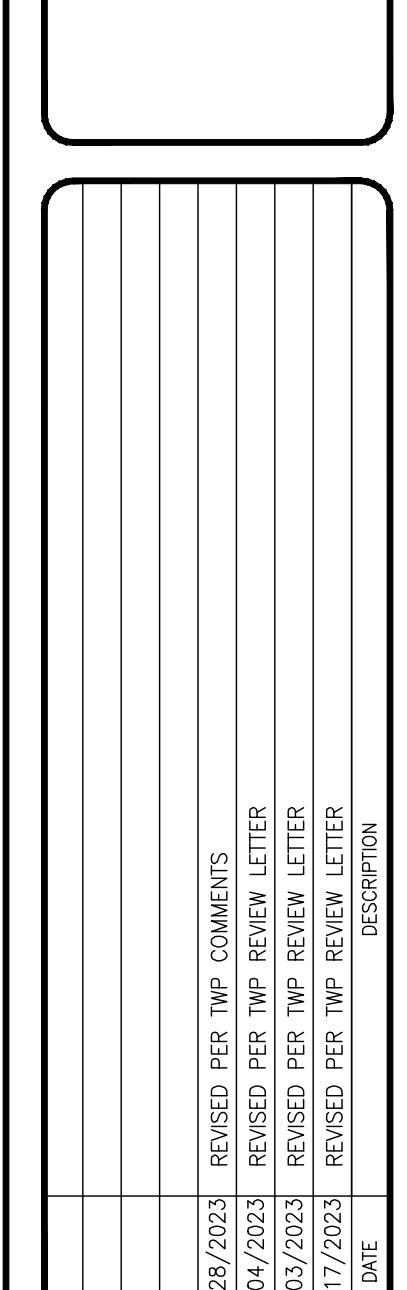
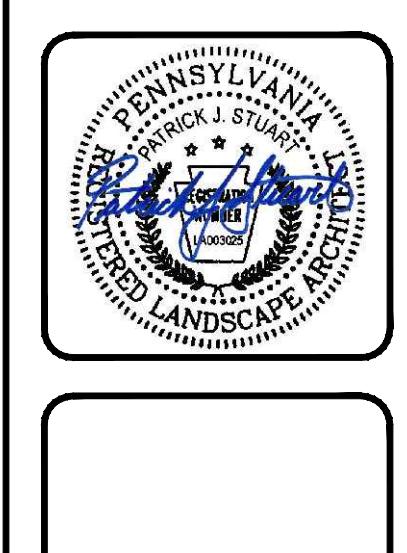
3 GROUNDCOVER PLANTING DETAIL, TYP.

SCALE : 1" = 1'-0"

LANDSCAPE ARCHITECTS
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1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003



2 SHRUB PLANTING DETAIL, TYP.

SCALE : 1" = 1'-0"



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

September 11, 2023

E-MAIL ONLY

File No. 09-07021T

Mr. Tony Scheivert
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: QBD Ventures
Preliminary/Final Land Development Plan
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents:

- Response Letter from DL Howell dated August 4, 2023.
- Plan set consisting of thirteen (13) sheets titled “QBD Ventures” prepared by D.L. Howell & Associates, Inc. (Howell), dated December 21, 2020, last revised August 4, 2023.

G&A, as well as the other Township Consultants have completed our third review of the above referenced Preliminary/Final Land Development Application for compliance with the applicable sections of the Township’s Zoning Ordinance, Stormwater Management Ordinance, and Subdivision and Land Development Ordinance, and wish to submit the following comments for your consideration. The project did receive Final Land Development Approval in August 2010; however, that approval has expired.

Please note that comments with a **(RW)** denotes a requested waiver and may require relief from the Township Ordinances. Comments in *italics* are from our previous review letter, and comments in **bold text** require resolution by the applicant. Previous comments which have been satisfactorily addressed are not repeated herein.

BUILDING ON A FOUNDATION OF EXCELLENCE

184 W. Main Street | Suite 300 | Trappe, PA 19426
Phone: 610-489-4949 | Fax: 610-489-8447
www.gilmore-assoc.com

File No. 09-07021T

September 11, 2023

I. OVERVIEW

The parcel is approximately 0.7 acres in size and is zoned C-1 (Village Commercial District) and is located approximately 300 feet east of the intersection of Graphite Mine Road and Byers Road. The Applicant is proposing to demolish the existing buildings and construct a 2-story, 4,400 SF office building with and associated parking facilities. The parcel will provide a two-way access via Byers Road. An underground detention basin will be utilized to control the increased runoff from the subject site.

II. ZONING

We have no zoning comments at this time.

III. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW

1. (RW) Section 162-8.B. – *The Applicant has submitted this application as a Preliminary/Final Application. A waiver is required from this section to permit this type of approval.*

The Applicant has requested a waiver to allow this application to be considered a Preliminary/Final Application. We have no objection to this request.

2. (RW) Section 162-32.F - *A waiver is being requested, and was previously granted, to permit a 35' curb radius on the southwest corner of the intersection of the proposed driveway and Byers Road contingent upon Pa-DOT's concurrence. However, as the land development approval has expired, it is being requested again.*

3. (RW) Section 162-55.D.(1) & (2) - *A portion of the southeastern corner of the site contains Glenville Silt Loam, which is classified as a hydric soil and is part of a riparian buffer area. The plans shall indicate this area as a riparian buffer; it is noted that an inlet, a storm pipe, paving, and a portion of the retaining wall are proposed within the riparian buffer. A waiver is being requested, and was previously granted, to permit the construction of a structure in the riparian buffer. However, as the land development approval has expired, it is being requested again.*

File No. 09-07021T

September 11, 2023

4. (RW) Section 162-57.6(b) – A partial waiver is being requested to allow a modified Landscape Plan with regard to building façade plantings, parking and loading landscaping, road frontage and tract boundary plantings.

We defer to the Planning Commission as to whether the proposed landscaping is sufficient to serve as an adequate buffer.

IV. STORMWATER MANAGEMENT ORDINANCE REVIEW

1. (RW) Section 152-305.A and 152-306.A - A waiver is being requested to not provide the required stormwater runoff volume reduction due to high groundwater levels on the property. The infiltration testing report concluded that an infiltration rate of 0.085 inches per hour should be used for design.

Due to the poor infiltration rates found on the site, we support the granting of this waiver.

2. (RW) Section 152-311.D - A waiver is being requested to provide an underdrain that is less than the minimum 18" below the foundation. The underdrain system should be in compliance with this section of the ordinance. The Applicant should verify that the underdrain system will be able to adequately drain and elevations should be provided on the plan which verify the underdrain is a minimum of 18" below the foundation as required under this section.

As proposed, the underdrain will be located approximately 16" below the foundation. We feel the difference between the required separation and that which is provided is de minimis. This coupled with the fact providing the required 18" will not allow for positive drainage away from the building, we support the waiver.

3. Section 152-402.F. – The Applicant shall provide an O&M plan, and agreement.

V. GENERAL COMMENTS

No comments at this time.

File No. 09-07021T

September 11, 2023

**VI. TOWNSHIP TRAFFIC CONSULTANT COMMENTS
(McMAHON ASSOCIATES, INC.)**

Based on our review, all of our previous technical comments have been addressed, and we have no further comments. The following is offered for informational purposes only.

Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and as such, this site is subject to the Township's Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. Based on the Institute of Transportation Engineers publication Trip Generation, 10th Edition, the proposed 4,400 square feet of office space generates five weekday afternoon peak hour trips. Therefore, the number of trips subject to the Township's Transportation Impact fee is five, and the resultant fee is **\$11,670**.

**VII. TOWNSHIP PLANNING CONSULTANT COMMENTS
(BRANDYWINE CONSERVANCY)**

All outstanding comments have been addressed.

**VIII. TOWNSHIP MUNICIPAL AUTHORITY CONSULTANT COMMENTS
(ARRO CONSULTING, INC.)**

1. The current plan currently shows the sanitary sewer mains within Byers Road in the proposed locations, the as-constructed conditions should be reflected on the plans. Additionally, a sanitary sewer lateral has been provided for this property. The proposed private sanitary sewer drain location should be revised accordingly. The as-constructed plan information will be provided to the applicant's engineer.

Mr. Tony Scheivert

Page - 5 -

Upper Uwchlan Township Manager

Reference: QBD Ventures

Preliminary/Final Land Development Plan

Upper Uwchlan Township, Chester County, PA

File No. 09-07021T

September 11, 2023

2. We estimate the anticipated sewer usage to be 225 gallons per day (GPD) or one (1) equivalent dwelling unit (EDU). The required capacity will need to be purchased by the applicant. We recommend the Township reserve the right to review water usage in the future and require the purchase of additional sanitary sewer capacity if warranted.
3. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

This concludes the third review of the above-referenced plan. We would recommend the plans be revised to address the above referenced comments as any comments raised by the Township Planning Commission or Board of Supervisors.

If you have any questions, please do not hesitate to contact me.

Sincerely,

David N. Leh

David N. Leh, P.E.

Vice President

Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members
Upper Uwchlan Township Board of Supervisors
Kristin Camp, Esq. – BBM&M LLP (via email only)
Rob Daniels, ASLA, Brandywine Conservancy (Via e-mail only)
Christopher J. Williams, P.E., McMahon Assoc., Inc. (Via e-mail only)
David Schlott, P.E., ARRO Consulting, Inc. (Via e-mail only)
Peter Rogers, Applicant (Via e-mail only)
David Gibbons, P.E., D.L. Howell & Associates (Via e-mail only)

March 4, 2021

Dave Leh, Upper Uwchlan Township Engineer
184 W. Main Street, Suite 300
Trappe, PA 19426

**RE: Preliminary/Final Land Development Plan Application:
QBD Ventures
Waiver Request Letter**

Dear Mr. Leh:

On behalf of the applicant for the above referenced project we are requesting the following waivers from Upper Uwchlan Township Subdivision and Land Development Ordinance.

1. A Waiver is being requested from Section 162-32.F of the Upper Uwchlan Township Subdivision and Land Development Ordinance to allow a curb radius on the southwest corner of the intersection of the proposed driveway be less than the required 35 feet. We have demonstrated that the radii as proposed will accommodate the largest expected delivery vehicle to the property (a UPS-type truck) and the township's emergency vehicles (fire and ambulance). The small size of the lot makes a 35' radii virtually impossible to implement while still retaining a viable sized building and supporting parking, etc. on the lot. The proposed approximate 2,200 SF building footprint is smaller than most new homes being constructed in the township. The proposed radius of 15' on the western side of the entrance is also needed to not encroach on the adjacent property. Please note this radius is in the same general vicinity of the existing driveway. This curb radius is subject to the approval by PennDOT as it is located within the legal right of way of a State Highway.
2. A Waiver is being requested from Section 162-55.D.1 and Section 162-55.D.2 of the Upper Uwchlan Township Subdivision and Land Development Ordinance to allow an inlet, storm pipe, paving and a portion of a retaining wall within an area classified as Riparian Buffer due to it containing hydric soils, in addition to allowing the removal of an existing maple tree within said area. Vegetation management in the buffer, per the code, is not permitted, however this small portion of the south eastern corner of the lot that contains hydric soil per the soil conservation service's soils map and therefore is considered to be in the riparian buffer zone per section 162-55.D.(1) to (2) of the SALDO. Most of this small area has already been covered by a stoned driveway for many years and does not contribute to any ground water recharge, etc. Due to the small size of the lot, and our desire to accommodate the township's request to respect the proposed ultimate ROW for Byers Road (for when Byers Road is to be expanded to a four lane highway as a collector road per the township zoning ordinance), we have had to place a storm water inlet, some storm water piping, paving and a part of a retaining wall in the area previously used as the stoned driveway and we hereby request a waiver from the requirements of these sections of the SALDO.
3. A Waiver is being requested from Section 152-305.A and Section 152-306 of the Upper Uwchlan Township Stormwater Management Ordinance to not provide the required stormwater runoff volume reduction due to high groundwater levels on the property. The soils on-site are not suitable for infiltration and a lined underground pipe storage system is provided in lieu of a typical infiltration BMP to provide for the necessary peak flow reductions also required by the ordinance.

4. A Waiver is being requested from Section 152-311.D of the Upper Uwchlan Township Stormwater Management Ordinance to provide an underdrain that is less than the minimum 18" below the foundation. Based on the surrounding flat topography and the requirement to discharge the underdrain to a location that will provide proper positive flow away from the foundation, it is necessary to set the underdrain less than 18" below the foundation.
5. During the course of the review when the land development previously was proposed, the Township's Consultants had commented that strict compliance with the landscaping requirements contained in the Township's Subdivision and Land Development Ordinance is not possible without resulting in an over-planted site, i.e. No proper visibility into the site, trees being planted too close to other trees, conflicts between trees and lights, and no consistency with the existing tree plantings in Eagle and existing village landscape patterns. Our landscape consultant strongly agrees with this assessment, and therefore we request a Waiver from strict compliance with the SALDO's landscape requirements such that our landscape architect will prepare a landscaping plan that all parties can agree is proper in scale for the subject property even though it will not be in compliance with all of the township's ordinance's landscaping requirements. The ordinance sections where a partial waiver is being requested to not provide full landscaping is Section 162-57.6(b), and Section 162-57 with regard to building façade plantings, parking and loading landscaping, road frontage and tract boundary plantings.

Thank you for consideration of these Waiver Requests.

Sincerely,
D.L. HOWELL & ASSOCIATES, INC.



David W. Gibbons, PE
Senior Engineer



Upper Uwchlan Township

August 31, 2010

Peter Rodgers
QBD Ventures
2800 Horseshoe Trail
Chester Springs, PA 19425

Reference: 164 Byers Road - Land Development Plan
Conditions of Preliminary / Final Land Development Plan Approval

Dear Mr. Rodgers:

This letter corrects a typographical error contained in Condition #5 of my August 25 letter to you regarding the Board's August 16 approval of the above-mentioned Land Development Plan.

The permitted curb radius is 15', as stated below. My apologies for any inconvenience this may have caused.

1. The plans shall be revised to comply with Gilmore & Associates, Inc.'s review letter dated August 9, 2010.
2. A waiver from SALDO Section 162-51.H.(4) is hereby granted to permit the building's foundation drain to be set a minimum of 12" below the foundation.
3. A waiver from SALDO Section 162-51.C.(1).(c) is hereby granted regarding stormwater runoff volume reduction.
4. A waiver from SALDO Section 162-55.D.(1) is hereby granted to permit the construction of a structure in alluvial soils.
5. A waiver from SALDO Section 162-32.F. is hereby granted to permit a 15' curb radius on the southwest corner of the intersection of the proposed driveway and Byers Road contingent upon Pa-DOT's concurrence.
6. Sidewalk shall be provided along the property frontage as described in comment number 1 of Brandywine Conservancy's August 6, 2010 review letter. However, a

sidewalk connecting from the building to the sidewalk along the property frontage is not required.

7. The applicant agrees to pay a Traffic Impact Fee in the amount of **\$11,399.36**. The fee shall be paid prior to a Building Permit Being issued.

If you have any questions, please contact this office.

Yours truly,

*Cary B. Vargo,
Township Manager*

CBV/dnl/gaj

Cc: Board of Supervisors
 Al Gaspari, Codes Administrator
 Dave Leh, P.E. – Gilmore & Associates
 Sheila Fleming, Senior Planner – Brandywine Conservancy
 Matt Brown, P.E., DEE – ARRO
 Chris Williams, P.E. – McMahon Associates



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

August 9, 2010

File No. 09-07021T

Mr. Cary Vargo
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: QDB Ventures
Preliminary/Final Subdivision and Land Development Plan
Upper Uwchlan Township, Chester County, PA

Dear Mr. Vargo:

Gilmore & Associates, Inc. (G&A) is in receipt of a plan prepared by D.L. Howell & Associates, Inc. (Howell) titled, "QBD Ventures," dated September 18, 2009, last revised July 19, 2010 along with a response letter dated July 22, 2010. The subject parcel is located approximately 300 feet east of the intersection of Graphite Mine Road and Byers Road.

G&A, as well as the other Township Consultants, have completed our second review of the above referenced Preliminary/Final Subdivision and Land Development Plan for compliance with the applicable sections of the Township's Zoning Ordinance and Subdivision and Land Development Ordinance, and wish to submit the following comments for your consideration.

I. OVERVIEW

The parcel is approximately 0.7 acres in size and is zoned C-1 (Village Commercial District). The Applicant is proposing to demolish the existing buildings and construct a 2-story, 4,400SF office building and associated parking facilities. The parcel will provide a two-way access via Byers Road. An underground detention basin will be utilized to control the increased runoff from the subject site.

II. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW

1. *Section 162-51.H.(4) – An underdrain system should be designed for the proposed building. The underdrain system should be in compliance with this*

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section of the ordinance. The Applicant should verify that the underdrain system will be able to adequately drain as it appears that the inverts in the existing inlet, within Byers Road, are too high.

Elevations should be provided on the plan which verify the underdrain is a minimum of 18" below the foundation as required under this section.

2. (W) Section 162-51.C.(1).(c) – The Applicant has requested a waiver from providing the required stormwater runoff volume reduction. We would recommend the waiver contingent upon the Applicant providing additional post-developed runoff rate reduction (100-year post-developed rate reduced to the pre-developed 50-year rate).

Calculations have been provided as requested which verify the runoff rate for the 100 year post-developed storm will be reduced to the pre-developed 50-year rate. Therefore we would recommend the waiver be granted. However a complete stormwater management report should be provided which includes these revised calculations.

3. (W) Section 162-55.D.(1) – *No structures may be placed within any riparian buffer and no land disturbance is permitted. The riparian buffer definition includes alluvial soils. A portion of the site is comprised of alluvial soils. This area should be delineated and indicated as a riparian buffer. Currently disturbance is proposed and an inlet, a storm pipe, paving, and a portion of the retaining wall are shown within the riparian buffer. A waiver should be requested.*

The applicant has requested a waiver from this section. We would recommend this waiver be granted.

III. STORMWATER MANAGEMENT ORDINANCE REVIEW

1. Section 152-17.A – *The property owner shall sign an operations and maintenance agreement with the Township covering all stormwater BMP's that are to be privately owned. The agreement shall be substantially the same as the agreement in Appendix B of this Ordinance.*

This agreement should be executed prior to the land development plans being recorded.

IV. GENERAL COMMENTS

1. *The Applicant should clarify how the retaining wall will be constructed without impacting the adjacent properties. The proposed retaining wall is located approximately one (1) foot from the property line and is immediately adjacent to several existing trees and an existing fence line.*

A construction detail should be provided on the plan. Shop drawings for wall must be provided prior to construction.

2. *A detail should be provided for pipe trench restoration in both paved and unpaved areas.*

A detail has been provided as requested. However, the stormpipe detail should be revised to indicate there is to be a minimum of 12" of 2A stone provided above the top of the pipe under paved areas.

3. **Inlet IM2 should be lowered so it is in sump condition and the area along the site frontage should be regarded so runoff is directed towards the inlet as intended.**

**V. TOWNSHIP TRAFFIC CONSULTANT COMMENTS
(McMAHON ASSOCIATES, INC.)**

1. The applicant should provide a copy of the HOP plans and all PennDOT comment letters received to date regarding the access driveway for Township review. Specifically, any correspondence regarding the proposed 15-foot southwest curb radius and the uncurbed west side of the driveway should be provided for review.
2. The truck turning template showing the emergency service vehicle turning right into the site access should be revised so that the vehicle path does not traverse off of the western pavement edge of the driveway.
3. (W) The applicant is requesting a waiver of Section 162-32.F of the *Subdivision and Land Development Ordinance* to allow a 15-foot curb radius on the southwest corner of the widened driveway. Since truck turning templates indicate that the responding fire department's largest emergency service vehicle can access the site as designed, we preliminarily support this waiver, subject to the review and approval of PennDOT.

4. The applicant's engineer has indicated that a floating access easement is not proposed as part of this development. If at all possible, we continue to recommend a floating access easement consistent with the Township's new Access Management Ordinance should be provided in order to provide the opportunity for cross access connections between adjacent properties in the future, although we understand this application was filed in 2009 prior to completion of the new Ordinance.
5. The applicant's engineer has indicated that if the other properties that share the proposed driveway ever redevelop in the future, any modification of the driveway will be provided at that time. A note should be added to the plan indicating that if this subject property or the adjacent properties that share the proposed access ever redevelop or change use, these properties will be responsible for any modifications to the access if needed.
6. Since Byers Road (S.R. 1022) is a state highway, the driveway design will be subject to the review and approval of PennDOT for issuance of a Highway Occupancy Permit.
7. Based on the trip generation data contained in the Institute of Transportation Engineers' publication, *Trip Generation, Eighth Edition*, the proposed 4,400 square-foot office building will generate approximately seven new trips to the study area roadways during the weekday afternoon peak hour. Therefore, the number of trips that should be subject to the Township's Transportation Impact Fee is **seven**, and the resultant transportation impact fee is **\$11,399.36**.

**VI. TOWNSHIP PLANNING CONSULTANT COMMENTS
(BRANDYWINE CONSERVANCY)**

Comments will be provided under separate cover.

**VII. TOWNSHIP MUNICIPAL AUTHORITY CONSULTANT
(ARRO CONSULTING, INC.)**

1. The applicant shall have a Land Planning Module approved by the Pennsylvania Department of Environmental Protection for the proposed holding tank.

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2. The applicant shall provide design computations for the sizing of the proposed holding tank.
3. It appears that the lateral is in conflict with two proposed shrubs. There shall be no trees or shrubs located closer than ten (10) feet to the proposed sanitary sewer lateral.
4. A Pump and Haul Agreement for this project shall be executed prior to final approval of the Plan.
5. Although the Plan does now show the proposed means of sewage conveyance including sewer lateral location, pipe material, pipe diameter, and the holding tank locations, Standard Details 4600SD14 and 4600SD24 from the Upper Uwchlan Township Technical Specifications should be shown on the detail drawing sheet. A copy of these details is enclosed for the applicant's use.

VIII. TOWNSHIP LIGHTING CONSULTANT COMMENTS
(C. STANLEY STUBBE)

Proposed lighting consists of 5 250-watt pulse start metal halide luminaires with backlight shields, pole-mounted at 20' AFG. Lighting is to be switched by a programmable controller for automatic shutoff within 1 hour of the close of business. According to General Note 4, Applicant does not propose the use of all-night safety/security lighting. No other exterior lighting is proposed.

Section 162-58.C.(3)(i) requires that light trespass onto an adjacent residential use not exceed 0.1 vertical footcandle measured line-of-sight at the property boundary. Values as high as 1.3 footcandles are plotted beyond the east property boundary. However, the Howell letter states that the property to the east is not a residential use.

The following comment and recommendation is offered for Township consideration based on the requirements contained in SLDO Section 162-58. Lighting. [Added 6-17-2002 by Ord. No. 02-04] and reasonable and customary engineering practices:

- Section 162-58.C.(4) requires that poles directly behind parking spaces are to be protected from backing vehicles by being set back 5' feet from face of curb or edge of paving or set atop a 30" high concrete pedestal or otherwise suitably protected. Applicant proposes a 3' setback for the unprotected pole directly behind a parking space.

It is recommended that Applicant be requested to provide a 5' minimum setback or other protective means such as a steel bollard.

Mr. Cary Vargo, Upper Uwchlan Township Manager

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Reference: QDB Ventures

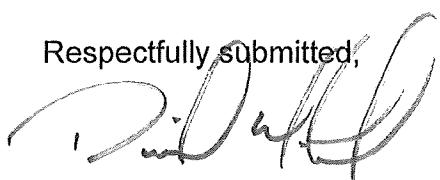
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Upper Uwchlan Township, Chester County, PA

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This concludes the first review of the above-referenced plan. We would recommend **Preliminary / Final Approval** be considered at this time, contingent upon the Applicant addressing the above referenced comments as well as any comments raised by the Township Planning Commission or Board of Supervisors. If you have any questions, please do not hesitate to contact me.

Respectfully submitted,



David N. Leh, P.E.
Upper Uwchlan Township Engineer
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members
Upper Uwchlan Township Board of Supervisors Members
Sheila E. Fleming, ASLA, Brandywine Conservancy
Christopher J. Williams, P.E., McMahon Assoc., Inc.
G. Mathew Brown, P.E., Arro Consulting, Inc.
C. Stanley Stubbe, C. Stanley Stubbe
Justin Linette, P.E., D.L. Howell & Associates
QBD Ventures, Applicant



UPPER UWCHLAN TOWNSHIP

Planning Commission Meeting

September 14, 2023

7:00 p.m. Meeting

Minutes

Draft

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

Attendees:

Sally Winterton, Chair; David Colajezzi, Jim Dewees, Vikas Harjani, Jeff Smith

MaryLou Lowrie, P.E., Gilmore & Associates

Gwen Jonik, Planning Commission Secretary

Absent: Chad Adams, Stephen Fean, Ravi Mayreddy, Joe Stoyack

Sally Winterton called the Meeting to order at 7:00 p.m. and welcomed new member, Vik Harjani. A quorum was present. There were 2 citizens in attendance.

Approval of Minutes

Jeff Smith moved, seconded by Jim Dewees, to approve as presented the minutes of the June 8, 2023 Planning Commission Meeting. The motion carried unanimously.

164 Byers Road / QBD Ventures Preliminary-Final Land Development Plan

Alexander Mundy, DL Howell, was representing property owner Peter Rodgers for this land development plan dated December 2020 and last revised August 4, 2023. Proposed is a 2,200 SF footprint 2-story office building with 22 parking spaces (as required) on a currently vacant 0.7-acre lot on Byers Road, across from the "Fieldstone at Chester Springs" senior living facility that is under construction. The Plan had received approval in August 2010 but that approval has expired. Previously granted waivers are again requested.

Mr. Munday advised that the curb radius is less than 35', a retention bed is being used for stormwater management as it's a small lot, the previous building was demolished, there are public water and public sewer connections, they've received a current PennDOT highway occupancy permit – striping, new curb; the 2010 plan was approved but not recorded, there is a driveway easement agreement to serve the 2 lots behind this parcel.

The Planning Commission reviewed Gilmore & Associates' September 11, 2023 review letter and questioned the waiver for the landscaping requirements. Since it is a small lot, they can't fit all of the required plantings. They are proposing a long detention basin that will slowly release the water for the stormwater management, and they're a 16" deep underdrain instead of the 18" required because that would be deeper than the inlet and it wouldn't drain. They are meeting the flow reduction, not infiltration.

Mr. Mundy advised they'll comply with all the other comments. Sally Winterton called attention to the proposed lighting fixtures and advised Mr. Mundy that while the Township is updating the Village Concept Plan and Village Design Guidelines, we might want to continue the village light fixtures from Eagle into Byers historic village, along the sidewalk.

Jim Dewees questioned the architecture/design of building being consistent with the other buildings in Byers historic village. Mr. Mundy replied the design would be consistent.

Other discussion and comments included:

The proposed landscaping will provide a nice buffer with the neighbors;

There are a few questions so perhaps only approve preliminary plan approval;

The vegetation right at the driveway might create sight-distance issues.

Jeff Smith moved to recommend granting only the waiver for combined preliminary/final plan approval. Jim Dewees seconded. Discussion included members not recalling the architectural design of the building and several other points. They'd like to see some of the original 2021 presentation. Mr. Smith withdrew his motion.

Jeff Smith moved to recommend preliminary plan approval with a condition that the developer return with architectural renderings before they consider recommending final plan approval. Sally Winterton added that the developer review the existing Village Design Guidelines as they draft a design.

Jeff Smith moved to not recommend granting the waiver for preliminary-final; he is comfortable with preliminary plan approval but would like to see elevations prior to final approval. David Colajezzi seconded the motion. Sally Winterton amended the motion to just recommend preliminary plan approval only and leave the elevations separate. Mr. Mundy noted that 2 elevations had been sent previously and one of those would most likely be the design. The motion carried with four (4) in favor and one (1) opposed (Deweese).

Regarding the remaining waivers, the Commission is not supportive of the partial waiver for a modified landscape plan, they do not favor the reduced plantings and placement of a tree right by the driveway.

Jeff Smith moved to recommend granting only the following waivers:

to permit the 35' curb radius;

to permit the construction of a structure in the riparian buffer;

to not provide the required stormwater runoff volume reduction;

to provide an underdrain that is less than the minimum 18" below the foundation.

Vikas Harjani seconded, and the motion carried unanimously.

Sally Winterton noted that when DL Howell is ready to return to the Planning Commission, they should have reviewed the existing Village Design Guidelines and the building should be compatible with the adjacent Byers Station Historic District -- Victorian, not palladium – and they'd like greater detail regarding the landscape design.

Meeting Updates

Environmental Advisory Council (EAC). Jeff Smith reported the EAC was going to have a roadside litter cleanup September 16 but it's being postponed; they're hosting a shredding/e-waste event October 14; they reviewed an amendment to the Alternative Energy Ordinance; they'll participate in Trunk or Treat and the annual Tree Lighting Ceremony.

Historical Commission (HC). David Colajezzi reported a lecture on Warwick Furnace September 24; he and Jim Dewees met with the HC a few months ago to discuss the Historic Resource Protection Plan; they hosted one of the County's summer walking tours; there are 2 vacancies, and there are 2 candidates; the historic resource inventory update is being reviewed; the Upland Farm farmhouse is getting new electric.

Active Transportation Plan (ATP). Sally Winterton reported that there's a public workshop September 27 at the Barn at Upland Farm where the information from the public survey and other types of input will be presented.

Next Meeting

Sally Winterton announced the next meeting is October 12, 2023, 7:00 p.m. There might be a 6:00 p.m. Workshop for ordinance review and discussion.

Open Session

Gwen Jonik advised the Board of Supervisors will authorize advertising of the Alternative Energy Ordinance amendments for adoption at their October meeting; the last summer concert is postponed to September 17.

Gerry Stein asked for news of the proposed warehouse at the 'Happy Days Farm' on Route 100 in Uwchlan Township. Jeff Smith advised that it had been approved and the developer hopes to start construction this Fall. Nothing is happening right now with the proposed warehouse at Lionville Station Farm - it was only a sketch plan, but they have to do something by November or the Agreement of Sale expires.

Gerry Stein advised that a tour of some of the Milford Mills ruins is being offered in October by the Marsh Creek State Park Ranger. It'll be open to anyone.

David Colajezzi asked when Celebree School plans to break ground (on Byers Station Parcel 5C Lot 2B). Jeff Smith noted nothing is happening yet but they hope by Spring 2024.

Adjournment

Jim Dewees moved, seconded by David Colajezzi, to adjourn at 8:33 p.m. All were in favor.

Respectfully submitted,

Gwen A. Jonik
Planning Commission Secretary