



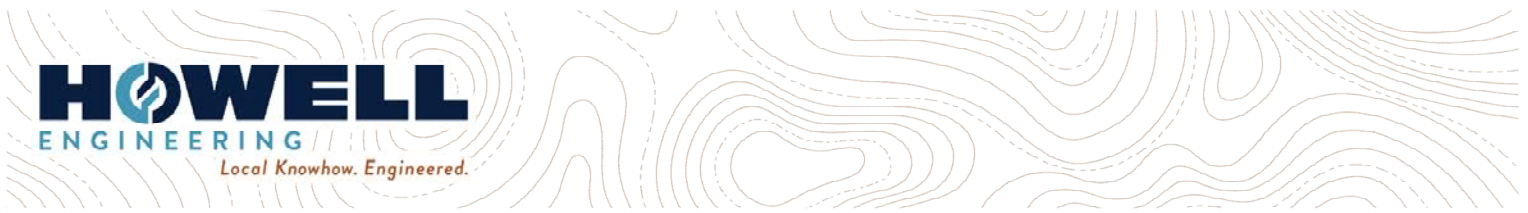
UPPER UWCHLAN TOWNSHIP
PLANNING COMMISSION
AGENDA

October 12, 2023
7:00 p.m.

LOCATION

Upper Uwchlan Township Building, 140 Pottstown Pike, Chester Springs PA 19425

- I. 7:00 PM Meeting Call To Order
- II. 164 Byers Road / QBD Ventures Preliminary / Final Land Development Plan
Review updated plan and consider recommending Final Plan Approval
- III. Meeting Updates ~ Reports
 - A. Environmental Advisory Council (EAC)
 - B. Historical Commission (HC)
 - C. Active Transportation Plan (ATP)
- IV. Approval of Minutes: September 14, 2023 Meeting minutes
- V. Next Meeting Date: November 9, 2023 7:00 p.m.
- VI. Open Session
- VII. Adjournment



October 4, 2023

Mr. Tony Scheivert, Township Manager
Upper Uwchlan Township
140 Pottstown Pike
Chester Springs, PA 19425

RE: QBD Ventures
Preliminary/Final Land Development Plan
Upper Uwchlan

Dear Mr. Scheivert:

This letter is being sent pursuant to Gilmore's review of the above referenced Plans by Howell Engineering dated 12/20/20, last revised 8/4/23 and their subsequent review letter dated 9/11/23.

Listed below are our responses to the concerns identified in the review of the plans. Also, enclosed for your review are copies of the update plan. Where applicable, Howell Engineering has addressed each of these comments indicating what action has been taken to resolve the issue.

III. Subdivision and Land Development

1. Acknowledged. No revision is necessary.
2. Acknowledged. No revision is necessary.
3. Acknowledged. No revision is necessary.
4. Acknowledged. No revision is necessary.

IV. Stormwater Management Ordinance Review

1. Acknowledged. No revision is necessary.
2. Acknowledged. No revision is necessary.
3. Acknowledged. The applicant will provide the agreement under separate cover.

VI. Township Traffic Consultant Comments

(McMahon Associates, Inc.)

1. Acknowledged. The application will provide a fee-in-lieu of to the Township.

VIII. Township Municipal Authority Consultant Comments

(ARRO Consulting, Inc.)

1. The plans have been updated to show the as-constructed conditions that were provided. Additionally, the provided lateral has been added to the plans in the location provided. A note has been added to the plan that the contractor shall field verify the location of the lateral.
2. Acknowledged. The applicant will purchase the required capacity.
3. Acknowledged. The applicant will provide financial security to the Township.

We appreciate your time and consideration.

Sincerely,
Howell Engineering

A handwritten signature in black ink, appearing to read "Dave Gibbons".

Dave Gibbons, PE
Senior Engineer



September 28, 2023

Upper Uwchlan Township
Attn: Planning Commission
140 Pottstown Pike
Chester Springs, PA 19425

STUART & ASSOCIATES, LLC.

P.O. Box 62286
King of Prussia, PA 19406

P : 610.337.2100

**RE: QBD VENTURES – 164 BYERS ROAD – LANDSCAPE WAIVERS
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PA
PRELIMINARY LAND DEVELOPMENT PLAN, DATED 09-28-2023**

Dear Planning Commission Members,

We are writing to elaborate on our Landscape Plan Waiver requests for the subject project.

We offer the following information with regards to the Waivers requested on Landscape Plans:

In order to provide a Landscape Plan in full compliance with Upper Uwchlan Township Ordinances, we would need to provide an additional 34 trees (18 large canopy shade trees and 16 evergreen trees) on the site. In our professional opinion, there is simply not enough available space to plant the additional 34 trees given the extents of the required parking lot paving, building, stormwater management piping and other underground utilities required to support the development of this parcel. There is also an existing access easement along the western boundary which restricts the planting of trees. We have provided additional shrubs and groundcover plantings where space permitted to compensate for the 34 trees.

Landscape Waiver Summary :

Shrubs required: 81

Shrubs proposed: 145 & 169 evergreen groundcover shrubs

Deciduous trees required: 28

Deciduous trees proposed: 10

Waiver requested for 18 deciduous trees.

Evergreen trees required: 19

Evergreen trees proposed: 3

Waiver requested for 16 evergreen trees.

Please contact our office with any questions.

Sincerely,

Patrick J. Stuart, RLA, MCRP, LLA



September 29, 2023

Upper Uwchlan Township Planning Commission
c/o Gwen Jonik, Township Secretary
140 Pottstown Pike
Chester Springs, PA 19425

Re: QBD Ventures Application for Preliminary/Final Land Development Approval at 164 Byers Road

Dear Commission Members:

QBD Ventures has owned the subject roughly 0.7 acre property since September, 2008. Shortly after acquiring the property, QBD submitted an application for Preliminary/Final Land Development Approval to demolish all of the existing structures on the site and construct a new two story, 2,200 SF building with a full basement thereon utilizing onsite water and sewer systems. On November 5, 2009 the Upper Uwchlan Township Planning Commission recommended approval of such a plan. On August 16, 2010 the Upper Uwchlan Township Board of Supervisors approved our plan, and on April 13, 2011 the Approved Plan was recorded in the Chester County Recorder of Deeds Office.

QBD has been unsuccessful in finding a user for the property since the original plan was approved. We had identified a candidate user who wanted to construct a child day care center on the site, but the lot was too small to enable the proposed facility to comply with all of the Commonwealth's rules and regulations governing such an operation to be complied with.

The passage of time, and the current availability of both public water and public sewer to service the site has required that QBD submit a new application for development on the subject property. Revised plans and an application for Preliminary/Final Land Development Approval to construct essentially exactly what was previously been approved, i.e. a new two story, 2,200 SF building with a full basement (however this time utilizing both the newly available public water and public sewer systems) were prepared and initially submitted to the Township on, or about, January 18, 2021. These plans were initially essentially duplicates of the originally approved application. The current version of these plans has now been updated following reviews and comments made by the Township's various consultants, staff, and Planning Commission to bring them into compliance with all modifications that have been made to the Township's governing ordinances since 2010, and were on the Planning Commission's 9/14/23 meeting agenda for review, and hopefully final approval. I,

**5 Blue Sky Trail
Travelers Rest, SC 29690**

unfortunately no longer reside on Horseshoe Trail in West Vincent Township (having retired and moved to South Carolina in 2015), and hence could not attend that meeting (Alexander Mundy, from D.L. Howell & Associates, Inc., our consulting engineer, attended the Planning Commission's meeting as QBD's representative).

Following are Mr. Mundy's notes made during the subject Planning Commission Meeting:

9-14-23 Planning Commission Meeting (Alex Mundy's notes)

- The Planning Commission recommended approving all requested waivers except the ones for combined preliminary/final approval and the reduction of tree plantings.
- The Planning Commission made a motion to recommend approval of this submission as a preliminary plan only.
- The Planning Commission did not recommend final approval due to the architectural that was provided with the initial submission because they felt that it was not up to the "village" standard.
- The Planning Commission did not recommend approving the requested landscape waiver and wanted to see more trees on the property. Also, the chairperson did not like the placement of the pin oak that was shown adjacent to the driveway out, and would like it moved.
- The Planning Commission wanted us to review the current village guidelines that is in the current ordinance. It was also brought up that a new comprehensive plan is being drafted and set to be put into effect in 2024. They know that we don't have to follow this but they would like us to review the draft plan and possibly follow some of those standards.

Following are my comments and thoughts regarding the Planning Commission's comments and actions:

- 1) Regarding the suggested reduction in trees from what is required: This issue was discussed during the original land development plan's approval process, and it was decided then, that due to the lot's small size, and the retaining wall's location (should not locate new trees close to this wall as their root systems would pose future problems with the wall's stability) additional trees could not be placed on the site. Extensive shrubbery was both then, and now, proposed to give the site a lush appeal. Enclosed with this letter is a letter prepared by our Landscape Architect providing his justification for the requested reduction in the number of trees that should be placed on the site.
- 2) As far as relocating the pin oak tree shown at the driveway exit goes, we have directed our Landscape Architect to make the requested change, with said change shown on the attached revised Landscape Plan.
- 3) Regarding the comment that Final Approval was not granted because the architectural rendering of the proposed building "was not up to the required village standard": During the original land development approval process, the then Planning Commission asked to see some possible renderings showing what the final building on the site could look like, so QBD had several renderings made to show "possibilities". However, all recognized at that time that these were merely "pie-in-the-sky" possibilities, and that in the real world, this is an issue that is to be resolved at the time application is made for a building permit (and will be "negotiated" by, and between, the Township and the Building Permit Applicant at that time (whoever that might be)). This is not an issue to be

considered, or resolved, at the Land Development Plan Approval Process. Hence, QBD would still like the current plan submission review, and approval process, to be considered to be for a combined Preliminary/Final plan approval.

4) Lastly, and for the same reasons noted in item 3 above, the Planning Commission's request for QBD to review any proposed changes to the current village guidelines that may be included in the new comprehensive plan currently being developed for the township, is really inappropriate, and has nothing to do with the granting of Township Approval of our Proposed Land Development Plans.

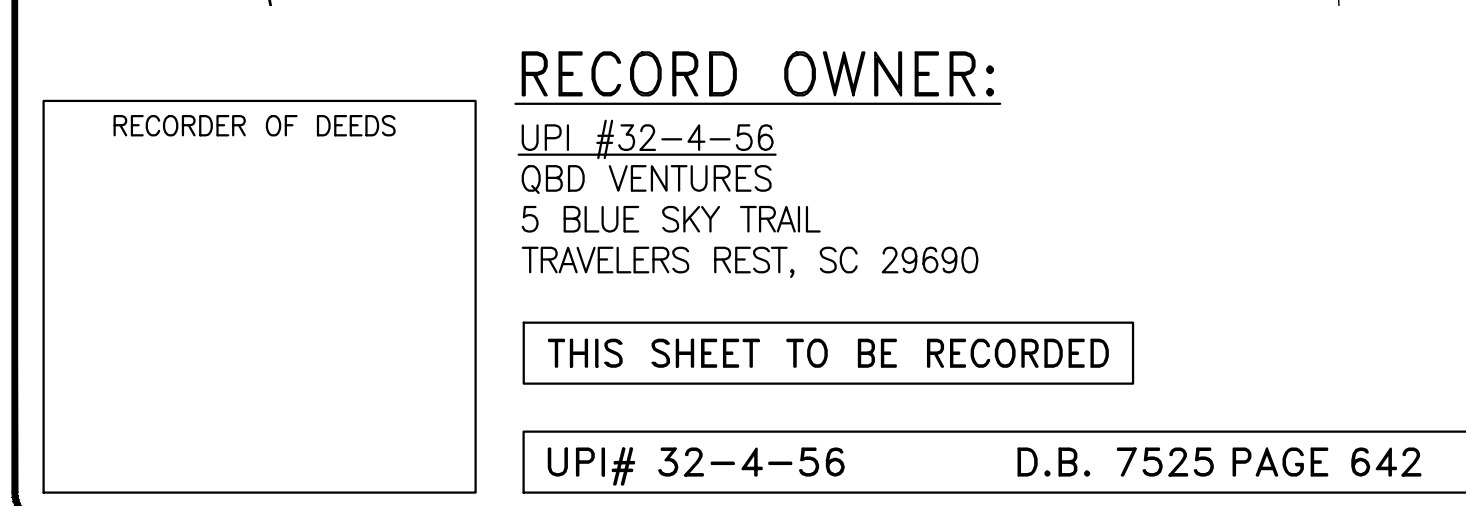
Based upon the above, I would appreciate it if the Planning Commission would reconsider our request for their granting of Preliminary/Final Approval of the Land Development Plans submitted to them at their 9/14/23 meeting as currently revised, i.e. recommend approval of the attached revised Landscape Plan as herewith submitted.

Thanking you for your consideration of the above requests.

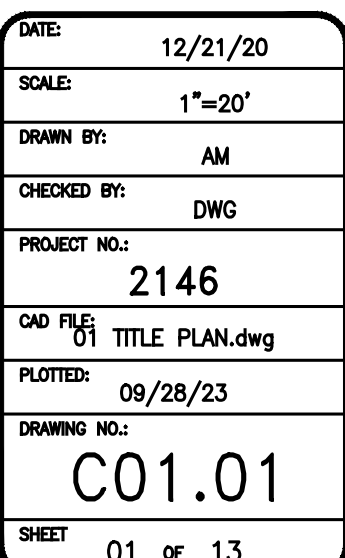
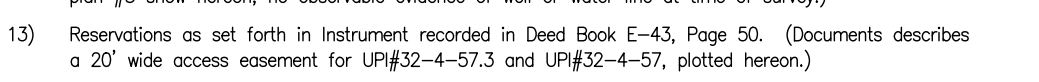
QBD Ventures

A handwritten signature in blue ink, appearing to read "Peter J. Rodgers".

Peter J. Rodgers, General Partner



| Sheet List Table | | |
|------------------|----------------|-------------------------------|
| Sheet Number | Drawing Number | Sheet Title |
| 01 | C01.01 | TITLE PLAN |
| 02 | C02.01 | SITE ANALYSIS & IMPACT PLAN |
| 03 | C03.01 | IMPROVEMENT CONSTRUCTION PLAN |
| 04 | C03.04 | SIGNAL ADJ. PLAN |
| 05 | C04.01 | CONSERVATION PLAN |
| 06 | C05.01 | PROFILE SHEET |
| 07 | C06.01 | DETAIL SHEET |
| 08 | C06.02 | DETAIL SHEET |
| 09 | C07.01 | PCSM & Q&M PLAN |
| 10 | C08.01 | LIGHTING PLAN |
| 11 | C08.02 | LIGHTING COORDINATIONS PLAN |
| 12 | C09.01 | LANDSCAPE PLAN |
| 13 | C09.02 | LANDSCAPE DETAILS |



LEGEND

- EX. PROPERTY LINE
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SIDEWALK ADA PLAN
SCALE: 1" = 2'



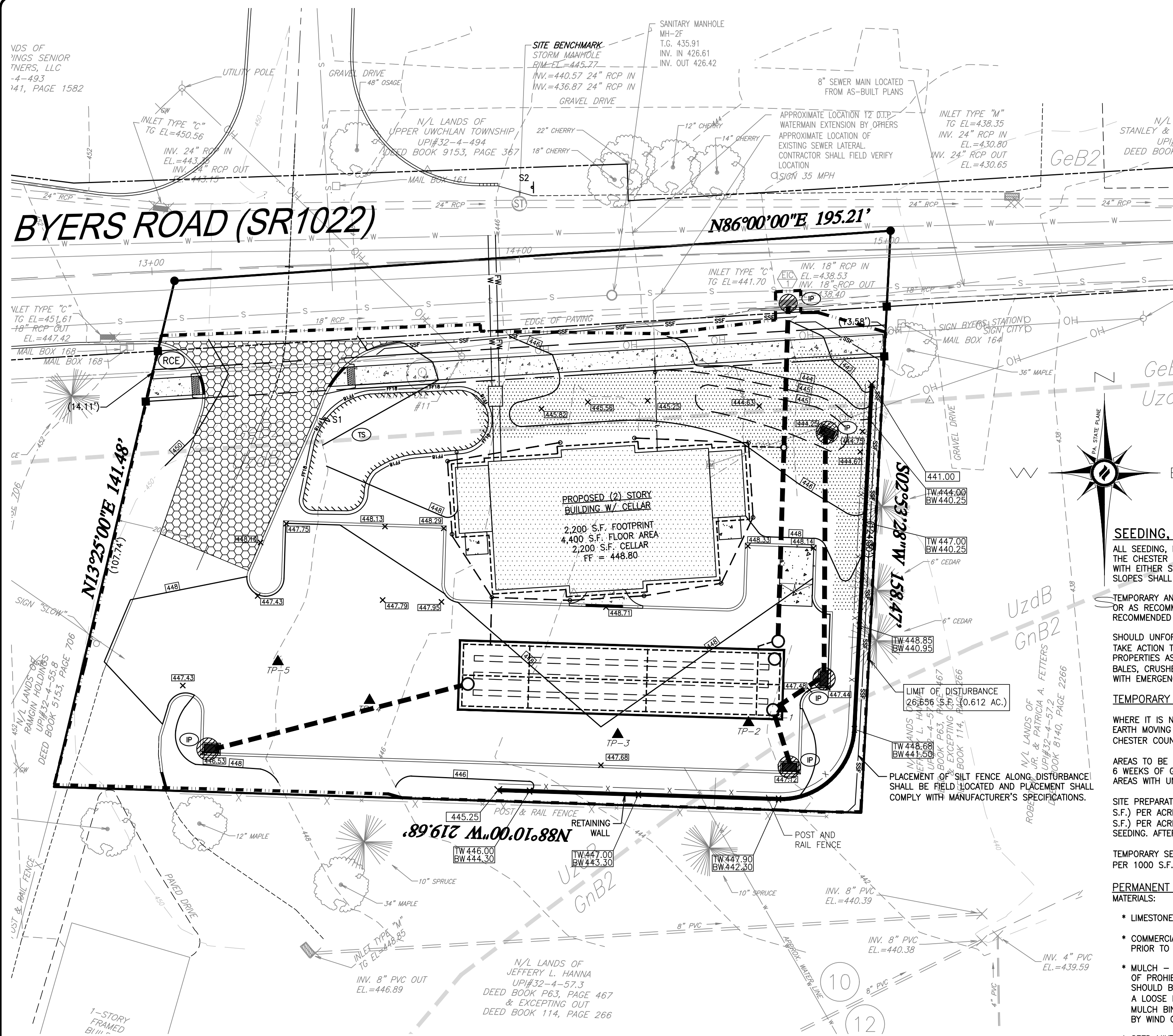
DLHowell
Civil Engineering
Land Planning
Environmental
www.DLHowell.com

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West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003

| REV. | DATE | DESCRIPTION |
|------|----------|-------------------------------------|
| 8 | | |
| 7 | | |
| 6 | | |
| 5 | | |
| 4 | 09/28/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 3 | 08/04/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 2 | 06/01/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 1 | | |

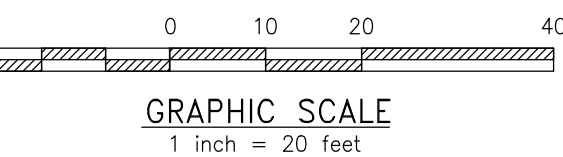
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|---|
| PRELIMINARY/FINAL SIDEWALK ADA PLAN |
| CLIENT: QBD VENTURES PROJECT: BYERS ROAD PROPERTY LOCATION: 164 BYERS ROAD UPPER MERIDIAN TOWNSHIP, CHESTER COUNTY, PA |

| | |
|--------------|--------------------------------------|
| DATE: | 12/21/20 |
| SCALE: | 1"=2' |
| DRAWN BY: | AM |
| CHECKED BY: | DWG |
| PROJECT NO.: | 2146 |
| CAD FILE: | 03 IMPROVEMENT CONSTRUCTION PLAN.dwg |
| PLOTTED: | 09/28/23 |
| DRAWING NO.: | C03.02 |
| SHEET | 04 OF 13 |



CONSERVATION PLAN

SCALE: 1"=20'



EROSION CONTROL LEGEND

| | | |
|------|------|---------------------------------------|
| FF1B | FF1B | 18" SILT FENCE |
| SSF | SSF | SUPER SILT FENCE |
| TS | TS | TOPSOIL STOCKPILE |
| IP | IP | INLET PROTECTION |
| RCE | RCE | STABILIZED ROCK CONSTRUCTION ENTRANCE |
| | | CURLEX BLANKET |

| | | | |
|---------------------|---------------------|------------------|------------------------|
| EX. PROPERTY LINE | EXISTING CONTOUR | PROP. LIGHT POLE | PROP. ELEC. LINE |
| PROP. PROPERTY LINE | PROPOSED CONTOUR | EX. FENCE | EX. UTILITY POLE |
| EX. RIGHT-OF-WAY | EXISTING SPOT ELEV. | EX. MAIL BOX | PROP. UTILITY POLE |
| EX. MONUMENT | NEW SPOT ELEV. | EX. SIGN | EX. GUY ANCHOR |
| PROP. MONUMENT | EX. CONC. CURB | EX. GAS LINE | PROP. GAS VALVE |
| EX. IRON PIPE | PROP. CONC. CURB | EX. TELE. LINE | PROP. GAS VALVE |
| EX. EASEMENT | EX. EDGE OF PAVING | EX. ELEC. LINE | PROP. STORM SEWER LINE |
| EX. WETLANDS | EX. LIGHT POLE | | PROP. STORM INLET |

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE-STOP CALL

Pennsylvania One Call System, Inc

1-800-242-1776

ONE CALL NOTE

NO SCALE

LEGEND

| | | | |
|--------------------|--------------------|--------------------------|---------------------|
| PROP. LIGHT POLE | PROP. ELEC. LINE | PROP. STORM INLET | PROP. WATER LINE |
| EX. FENCE | EX. UTILITY POLE | PROP. STORM INLET ID | PROP. WATER LATERAL |
| EX. MAIL BOX | PROP. UTILITY POLE | PROP. SEEPAGE BED | PROP. WATER VALVE |
| EX. SIGN | EX. GUY ANCHOR | EX. SANITARY SEWER LINE | EX. HYDRANT |
| PROP. SIGN | EX. GAS LINE | LROP. SAN. SEWER LATERAL | EX. MANHOLE |
| EX. CONC. CURB | EX. TELE. LINE | PROP. SANITARY MH. ID | PROP. MANHOLE |
| PROP. CONC. CURB | EX. ELEC. LINE | EX. WATER LINE | |
| EX. EDGE OF PAVING | | | |
| EX. LIGHT POLE | | | |

SEEDING, MULCHING AND SODDING

ALL SEEDING, MULCHING AND SODDING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CHESTER COUNTY CONSERVATION DISTRICT. ALL SLOPES STEEPER THAN 5H:1V SHALL BE STABILIZED WITH EITHER SOD OR PERMANENT SEEDING AND MULCH ANCHORED IN PLACE WITH JUTE NETTING. NO SLOPES SHALL BE STEEPER THAN 2H:1V.

TEMPORARY AND PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH THE PENN STATE AGRONOMY GUIDE OR AS RECOMMENDED BELOW. DURING NON-GERMINATING PERIODS APPLY MULCH AT THE RATES RECOMMENDED BELOW.

SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND/OR OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

TEMPORARY SEEDING SPECIFICATIONS

WHERE IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA IMMEDIATELY AFTER THE FINAL EARTH MOVING HAS BEEN COMPLETED, TEMPORARY SEEDING SHALL BE DONE IN ACCORDANCE TO THE CHESTER COUNTY CONSERVATION DISTRICT, THE E&S MANUAL AND/OR THE PENN STATE AGRONOMY GUIDE.

AREAS TO BE STABILIZED MUST BE SEEDED/PLANTED IN SUFFICIENT TIME TO GERMINATE, AT LEAST 4 TO 6 WEEKS OF GROWTH PRIOR TO HARD FROSTS. AFTER SEEDING IS COMPLETE, MULCH THE SEEDED AREAS WITH UNROTTED SMALL GRAIN STRAW AT A RATE OF 3 TONS PER ACRE.

SITE PREPARATION: APPLY 4 TONS AGRICULTURAL GRADE LIMESTONE (EQUIVALENT TO 190 LBS. PER 1000 S.F.) PER ACRE PLUS 10-20-10 FERTILIZER AT A RATE 830 LBS. (EQUIVALENT TO 25 LBS. PER 1000 S.F.) PER ACRE AND WORK IN WHERE POSSIBLE. SECURE A SOIL TEST BEFORE MAKING A PERMANENT SEEDING. AFTER SEEDING, MULCH WITH STRAW AT A RATE OF 3.0 TONS PER ACRE.

TEMPORARY SEED MIXTURE: APPLY ANNUAL RYE GRASS AT 40 PLS (LBS/ACRE) (EQUIVALENT TO 1 LBS. PER 1000 S.F.) MINIMUM GERMINATION PERCENTAGE - 85%

PERMANENT SEEDING SPECIFICATIONS

MATERIALS:

- LIMESTONE - RAW, GROUND AGRICULTURAL LIMESTONE CONTAINING MORE THAN 90% CARBONATES.
- COMMERCIAL FERTILIZER (10-20-10) - USE 500 LBS. TO THE ACRE MIXED INTO THE SEEDBED PRIOR TO SEEDING, OR MIXED IN WITH THE SEED IF HYDROSEEDING.
- MULCH - CLEAN OAT OR STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS. APPLY AT A RATE OF 3.0 TONS PER ACRE. THE MULCH SHOULD BE STABILIZED UNTIL THE VEGETATIVE COVER IS ESTABLISHED. SPREAD MULCH UNIFORMLY IN A LOOSE LAYER 1/2" TO 1" DEEP. MULCH ANCHORING (MULCH NETTING, PEG AND TWINE, LIQUID MULCH BINDER) SHALL BE ACCOMPLISHED IMMEDIATELY AFTER MULCH PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER.
- SEED MIXTURE - SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS.

PERMANENT SEEDING SPECIFICATIONS

| LAWN AND MOWED AREAS: (PLS = PURE LIVE SEED PERCENTAGE) | MIN. GERMINATION %S |
|---|---------------------|
| A. KENTUCKY BLUEGRASS | 30 PLS (LBS/ACRE) |
| PERENNIAL RYEGRASS | 20 PLS (LBS/ACRE) |
| REDTOP | 3 PLS (LBS/ACRE) |
| B. PENN/LAWN-FINE FESCUE | 40 PLS (LBS/ACRE) |
| PERENNIAL RYEGRASS | 20 PLS (LBS/ACRE) |
| REDTOP | 3 PLS (LBS/ACRE) |
| C. CROWNVEITCH | 25 PLS (LBS/ACRE) |
| PERENNIAL RYEGRASS | 25 PLS (LBS/ACRE) |

SLOPES OR UN-MOWED AREAS:

| LAWN AND MOWED AREAS: (PLS = PURE LIVE SEED PERCENTAGE) | MIN. GERMINATION %S |
|---|---------------------|
| A. KENTUCKY BLUEGRASS | 30 PLS (LBS/ACRE) |
| PERENNIAL RYEGRASS | 20 PLS (LBS/ACRE) |
| REDTOP | 3 PLS (LBS/ACRE) |
| B. PENN/LAWN-FINE FESCUE | 40 PLS (LBS/ACRE) |
| PERENNIAL RYEGRASS | 20 PLS (LBS/ACRE) |
| REDTOP | 3 PLS (LBS/ACRE) |
| C. CROWNVEITCH | 25 PLS (LBS/ACRE) |
| PERENNIAL RYEGRASS | 25 PLS (LBS/ACRE) |

AREAS TO BE STABILIZED MUST BE SEEDED/PLANTED IN SUFFICIENT TIME TO GERMINATE, AT LEAST 4 TO 6 WEEKS OF GROWTH PRIOR TO HARD FROSTS. AFTER SEEDING IS COMPLETE, MULCH THE SEEDED AREAS WITH UNROTTED SMALL GRAIN STRAW AT A RATE OF 3 TONS PER ACRE.

PERMANENT SEEDING SHALL ONLY OCCUR DURING THE DATES LISTED ABOVE. IF AREAS ARE PREPARED FOR SEEDING AT OTHER TIMES, THEN THE PREPARED SEEDBED SHALL BE HEAVILY MULCHED WITH CLEAN UNROTTED SMALL GRAIN STRAW OR SALT HAY AT A RATE OF 3 TONS PER ACRES. THE MULCH SHALL REMAIN IN PLACE UNTIL SEEDING DATES ARE APPLICABLE. THE MULCH SHALL BE REMOVED; THE AREA SHALL BE DRESSED, SEEDED AND REMULCHED AS DESCRIBED ABOVE.

MAINTENANCE

MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL DEVICES WILL CONSIST OF WEEKLY INSPECTIONS OF EACH DEVICE TO DETERMINE HOW WELL THE SLOPE STABILIZATION MEASURES USED ARE WORKING. ALL FACILITIES WILL BE INSPECTED AFTER EVERY STORM TO DETERMINE THEIR DURABILITY TO WITHSTAND DRIVING RAIN AND EROSION. ALL LOCAL REGULATIONS SHALL BE COMPLIED WITH. ALL DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION EQUIPMENT SHALL BE REPAIRED BEFORE THE END OF EACH WORKING DAY.

THE FOLLOWING MAINTENANCE PROCEDURES SHALL APPLY:

- ANY SEEDED OR SODDED AREAS THAT HAVE BECOME STRIPPED OF VEGETATION SHALL BE REESTABLISHED WITH APPROPRIATE STABILIZATION MATERIALS. THIS PROCEDURE SHALL BE REPEATED AFTER EVERY SIZEABLE STORM UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT.
- AT MONTHLY INTERVALS, THEREAFTER, INSPECTIONS AND NECESSARY CLEANING WILL BE PERFORMED.
- ANY FILTER FABRIC FENCE, WHICH HAS BEEN UNDERMINED OR OVERTOPPED, MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.
- INFLOW AND OUTFLOW POINTS INTO THE INFILTRATION SYSTEM SHOULD KEEP CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE SYSTEMS. ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.

| SYMBOL | SOIL NAME | DEPTH TO SEASONALLY HIGH WATER TABLE | DEPTH TO BEDROCK | SUITABILITY FOR WATER DRAINAGE | RESISTANCE TO FROST ACTION | SUITABILITY FOR ROAD GRADE | SUITABILITY FOR ROAD FILL | SUITABILITY AS SOURCE FOR TOPSOIL | SUITABILITY AS SOURCE OF SAND & GRAVEL | CHARACTERISTICS THAT AFFECT MATERIAL ALIGNMENT | CHARACTERISTICS THAT AFFECT INFILTRATION OF WATER FROM SEPTIC TANKS | CONSTRUCTION & MAINTENANCE OF PIPELINES | DRAKES & LEVELS | FARM PONDS | FARM PONDS | FARM PONDS | CHARACTERISTICS THAT AFFECT SUITABILITY FOR: | SUITABILITY FOR: | PRIME AGRICULTURAL SOIL |
|--------|---|--------------------------------------|------------------|--------------------------------|----------------------------|----------------------------|---------------------------|-----------------------------------|--|--|---|---|-----------------|----------------------|----------------------|----------------------|--|----------------------|-------------------------|
| ph2 | GLENNVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED | 5 FT. + | 3 TO 5 FT. | GOOD | FAIR | FAIR TO GOOD | FAIR TO GOOD | GOOD | UNSATURABLE | SEASONAL HIGH WATER TABLE | CLAYPAN | FLOUCTUATING WATER TABLE | INSTABILITY | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM |
| ph2 | GLENNVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED | 1-1 1/2 FT. | 3 TO 6 FT. | FAIR | POOR | POOR TO FAIR | POOR | GOOD | UNSATURABLE | SEASONAL HIGH WATER TABLE | CLAYPAN | FLOUCTUATING WATER TABLE | INSTABILITY | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM |
| U2B | URBAN LAND - UNDEVELOPED, SLOPE AND DRAINAGE, 3 TO 8 PERCENT SLOPES | 5 FT. + | 3 TO 5 FT. | GOOD | FAIR | FAIR TO GOOD | FAIR TO GOOD | GOOD | UNSATURABLE | SEASONAL HIGH WATER TABLE | CLAYPAN | FLOUCTUATING WATER TABLE | INSTABILITY | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM | PERMEABLE SUBSTRATUM |

UTILITY LINE TRENCH EXCAVATION NOTES:

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING, SITE RESTORATION, AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

EROSION AND SEDIMENTATION CONTROL NARRATIVE

THE PURPOSE OF THIS NARRATIVE AND THE EROSION CONTROL ASPECTS OF THE PLANS ARE TO PREVENT THE ACCELERATED EROSION OF EXPOSED SITE SOILS DURING CONSTRUCTION AND TO RETAIN ON-SITE ALL SEDIMENT PRODUCED BY CONSTRUCTION ACTIVITIES. THIS WILL BE ACCOMPLISHED BY STRICT ADHERENCE TO THE FOLLOWING NOTES, SEQUENCE OF CONSTRUCTION, AND EROSION AND SEDIMENT CONTROL DETAILS SHOWN ON THE PLAN.

EROSION AND SEDIMENTATION CONTROL GENERAL NOTES

- A COPY OF THESE EROSION AND SEDIMENTATION CONTROL PLANS MUST BE POSTED AT THE CONSTRUCTION SITE IN ACCORDANCE WITH STATE LAW.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
- SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR MUST TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHOULD BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
- SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE OR OF STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST BE IMMEDIATELY IMPLEMENTED BY THE CONTRACTOR TO ELIMINATE SUCH PROBLEMS.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL RESOURCES, SUB-PART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- LIMITS OF DISTURBANCE MUST BE CLEARLY MARKED IN THE FIELD PRIOR TO ANY DISTURBANCE. ANY CHANGE OR ENCROACHMENT ONTO THESE AREAS MUST BE APPROVED BY THE TOWNSHIP ENGINEER. ANY ADDITIONAL EARTH DISTURBANCE MAY REQUIRE ADDITIONAL PERMITTING AND SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH STORM EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS SHALL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, REMULCHING, RESEEDING, AND RETENING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.

WHERE BMP'S ARE FOUND TO FAIL TO ALLEVATE EROSION OR SEDIMENT POLLUTION THE PERMITTEE OR CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:

- THE LOCATION & SEVERITY OF THE BMP'S FAILURE & ANY POLLUTION EVENTS.
 - ALL STEPS TAKEN TO REDUCE, ELIMINATE & PREVENT THE REOCCURENCE OF THE NON-COMPLIANCE.
 - THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY PART THEREOF, THE PROJECT SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION. ALL AREAS REQUIRING INTERIM OR FINAL STABILIZATION MUST BE ADDRESSED WITH IMMEDIATE STABILIZATION OF DISTURBANCE. AREAS UTILIZING VEGETATIVE STABILIZATION MUST BE SEEDED / PLANTED AND MULCHED IN SUFFICIENT TIME TO GERMINATE BY OCTOBER 15 OF EACH YEAR. SEEDING WILL BE ACCOMPLISHED THROUGH THE USE OF HYDROSEEDING TECHNIQUES OR CONVENTIONAL SEEDING AND MULCHING AT A RATE OF 3.0 TONS PER ACRE AS RECOMMENDED IN THE PENN STATE AGRONOMY GUIDE.
 - AFTER FINAL STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP'S MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED IMMEDIATELY.
 - SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 ABOVE GROUND HEIGHTS OF SILT FENCING.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION, AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS AND RELATED ITEMS INCLUDED WITH THIS PLAN.

- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL WASTES AT THE SITE.
- EROSION AND SEDIMENTATION CONTROL INSPECTIONS SHALL BE PERFORMED ON A WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
- ALL SLOPES STEEPER THAN 3:1 MUST UTILIZE EROSION CONTROL BLANKET (CURLEX BLANKET OR APPROVED EQUIV.).
- IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING CONSTRUCTION, A GEOTECHNICAL ENGINEER SHOULD BE ONSITE FOR RESOLUTIONS TO THE UNSUITABLE SOIL.
- TEMPORARY TOPSOIL STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET, AND SLOPES MUST BE 2:1 OR FLATTER.
- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO THE PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E & S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE TOWNSHIP ENGINEER. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE CHESTER COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.

AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERMANENT VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CESSATE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

- IF THE CONTRACTOR ENCOUNTERS HIGH WATER TABLE, SHALLOW BEDROCK, OR SOIL INSTABILITY DURING SITE CONSTRUCTION, THE DESIGN ENGINEER OR THE ON-SITE GEOTECHNICAL ENGINEER MUST BE CONTACTED IMMEDIATELY FOR CORRECTIVE MEASURES.
- IF THE SITE CONSTRUCTION YIELDS A NET OUT RESULTING IN EXCESS SOIL BEING REMOVED FROM THE SITE THE SOIL MUST BE TRANSFERRED TO A SITE WITH A VALID NPDES PERMIT.

CONSTRUCTION SEQUENCE NOTES:

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL WASTES AT THE SITE.

CONSTRUCTION SEQUENCE

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD AT THE SITE AT LEAST SEVEN (7) DAYS PRIOR TO THE BEGINNING OF ANY WORK. PRESENT AT THE MEETING SHALL BE THE TOWNSHIP ENGINEER, THE DESIGN ENGINEER, THE SITE CONTRACTOR AND THE DEVELOPER.
- STAKE THE LIMIT OF DISTURBANCE PRIOR TO ANY CLEARING OR EARTH MOVING ACTIVITIES BEGIN.
- INSTALL SILT FENCE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE TOWNSHIP ENGINEER.
- INSTALL ROCK CONSTRUCTION ENTRANCE AND ADD INLET PROTECTION OVER EXISTING STORM INLETS AS REQUIRED.
- REMOVE EXISTING ASPHALT, EXISTING BUILDINGS, AND EXISTING UTILITY LINES OTHER THAN WATER LINE WHICH WILL BE REUSED, AND CLEAR DEBRIS. MATERIAL SHALL BE DISPOSED OF PROPERLY.
- CLEAR AND GRUB AS NECESSARY.
- REMOVE TOPSOIL. PLACE TOPSOIL IN AREAS INDICATED ON THE PLAN. SURROUND STOCKPILE WITH SILT FENCE AFTER COMPLETION AND SEED AND MULCH WITH TEMPORARY SEED MIX. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET AND SIDE SLOPES SHALL BE 2:1 OR FLATTER.
- ROUGH GRADE SITE AND INSTALL RETAINING WALLS. BEGIN CONSTRUCTION OF RETAINING WALL AS FILL IS PLACED IN THE AREA OF THE PARKING LOT. THE RETAINING WALL MUST BE CONSTRUCTED IN "STEPS" AS FILL IS PLACED TO AVOID DISTURBANCE TO THE DOWNHILL SIDE OF THE WALL. THE WALL WILL NEAR COMPLETION AS THE LOWER END OF THE SITE IS BROUGHT UP TO ROUGH GRADE CONDITION.
- CONSTRUCT PIPE STORAGE FACILITIES.

- EXCAVATE PIPE STORAGE FACILITY TO FINAL ELEVATION. STANDING WATER OR EXCESSIVE MOISTURE SHALL NOT BE PUMPED FROM EXCAVATION AREA. STONES OR ROCKS OVER 3/8-INCH DIAMETER SHALL NOT BE PERMITTED IN THE TOP 6-INCHES OF SOIL SUB-GRADE.
- EXCAVATED BED BASE CONTAINING UNDER-DRAIN SYSTEM SHALL BE LINED (ON ALL SIDES) WITH GEOTEXTILE FABRIC TO PREVENT SEDIMENT, SOIL, ETC. FROM ENTERING THE UNDER-DRAIN SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE TO PLACE BACKFILL MATERIAL WITHOUT DAMAGING FABRIC. IF DAMAGE OCCURS, IT SHALL BE REPLACED PRIOR TO BACKFILLING. IN THE EVENT THAT MULTIPLE SECTIONS OF FABRIC ARE REQUIRED TO LINE THE BASE AND WHEN THE ENTIRE BASE HAS BEEN WRAPPED WITH ONE FULL CONTINUOUS LAYER, THE GEOTEXTILE FABRIC MUST HAVE A FINISHED OVERLAP OF 1-FOOT.
- INSTALL PIPE AS SPECIFIED ON THE DESIGN DRAWINGS. FINISHED INLETS AS NECESSARY. IMMEDIATELY SEAL OFF INLETS WITH MARINE GRADE PLYWOOD AND A WATER TIGHT SEAL AS WELL AS INSTALL INLET PROTECTION TO PREVENT SEDIMENT LADEN WATER FROM ENTERING THE PIPE STORAGE FACILITY. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT. BACKFILL THE BED WITH CLEAN STRUCTURAL FILL TO SPECIFIED TOP OF BED ELEVATION. INSTALLATION OF THE FILL SHALL BE CHECKED BY THE DESIGN OR SITE ENGINEER PRIOR TO INSTALLATION INTO THE BMP TO ENSURE THAT IT IS CLEAN STRUCTURAL FILL.
- IF INSPECTION INDICATES THAT SOIL/SEDIMENT HAS ENTERED THE BED, APPROPRIATE MEASURES TO REMEDY THE CONTAMINATED BED SHOULD BE TAKEN, SUCH AS: CLEANING THE SOIL OR SEDIMENT FROM THE FABRIC, STONE, OR BED, AND OR REPLACEMENT OF THE STONE OR FABRIC.

- INSTALL STORM SEWERS AND INLETS WITH INLET PROTECTION AS SHOWN ON THE PLAN.
- BEGIN CONSTRUCTION OF BUILDING.
- INSTALL UNDERGROUND UTILITIES TO THE PROPOSED BUILDINGS.
- FINE GRADE THE PARKING AREAS AND INSTALL CONCRETE CURB AS SHOWN AND DETAILED ON THE PLAN.
- BACKFILL CURB AND IMMEDIATELY STABILIZE WITH MULCH AND PERMANENT SEED MIX.
- INSTALL BINDER COURSE THROUGHOUT THE PARKING AREAS.
- INSTALL CONCRETE SIDEWALKS AND PADS.
- SEED AND MULCH ALL DISTURBED AREAS WITH PERMANENT SEED MIX. LANDSCAPE PER THE LANDSCAPE PLAN. SEE LANDSCAPE RESTORATION CONSTRUCTION SEQUENCE FOR INFORMATION REGARDING SOIL AMENDMENTS.
- UPON FINAL STABILIZATION & PRIOR TO REMOVAL OF EROSION & SEDIMENTATION CONTROL MEASURES, THE SITE SHALL BE INSPECTED BY UPPER UCHLAN TOWNSHIP. AFTER A PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED OVER ALL DISTURBED AREAS (FOR STABILIZATION), REMOVE THE EROSION AND SEDIMENTATION CONTROLS INCLUDING INLET PROTECTION, SEED AND MULCH THE DISTURBED AREAS WITH PERMANENT SEED MIX.
- PAVE THE ENTIRE PARKING AREA WITH WEARING COURSE AND SEAL BETWEEN CONCRETE CURBING AND ASPHALT PAVING WITH HOT BITUMINOUS SEALANT.

* THE PENNSYLVANIA TITLE 25, CHAPTER 93 CLASSIFICATION FOR THE RECEIVING WATERS OF THE COMMONWEALTH

PICKERING CREEK: A TSF AND MF WATER COURSE. A WATER COURSE CLASSIFIED AS HIGH QUALITY WATERS

NOTE: THIS PROJECT IS IN A SPECIFICALLY PROTECTED HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHED; EXTREME CARE SHOULD BE EXERCISED IN ALL DISTURBANCE ACTIVITIES TO PREVENT DEGRADATION TO THE WATERS OF THE COMMONWEALTH.

BECAUSE THIS PROJECT IS IN A SPECIFICALLY PROTECTED HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHED, UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITIES, THE PROJECT SITE MUST BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.



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Civil Engineering
Land Planning
Environmental
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West Chester, PA 19380
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Fax: (610) 918-9003

| REV. | DATE | DESCRIPTION |
|------|----------|-------------------------------------|
| 1 | 06/01/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 2 | 08/04/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 3 | 09/28/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 4 | | |
| 5 | | |
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| 7 | | |
| 8 | | |

| REV. | DATE | DESCRIPTION |
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| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |

| PRELIMINARY/FINAL | CONSERVATION PLAN |
|--------------------|---|
| CURB: OBD VENTURES | PROJECT: BYERS ROAD PROPERTY |
| | LOCATION: 164 BYERS ROAD |
| | UPPER UCHLAN TOWNSHIP, CHESTER COUNTY, PA |

| | |
|--------------|--------------------------|
| DATE: | 12/21/20 |
| SCALE: | 1"=20' |
| DRAWN BY: | AM |
| CHECKED BY: | DWG |
| PROJECT NO.: | 2146 |
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| DATE: | 09/28/23 |
| DRAWING NO.: | C04.01 |
| SHEET | 05 of 13 |

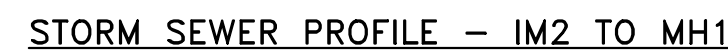
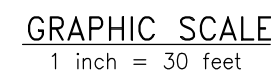


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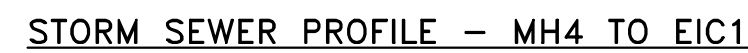
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HORIZ SCALE: 1"=30'
VERT SCALE: 1"=3"



HORIZ SCALE: 1"=30'
VERT SCALE: 1"=3"



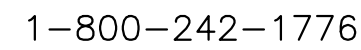
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5"



HORIZ SCALE: 1"=30'
VERT SCALE: 1"=3"

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE—STOP CALL

Pennsylvania One Call System, Inc



ONE CALL NOTE
NO SCALE

ACT 287 SERIAL NUMBER 20092592101
D. L. Howell & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does D. L. Howell & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

UTILITIES NOTIFIED

BUCKEYE PIPELINE COMPANY
COMCAST CABLE COMMUNICATIONS, INC.
PECO ENERGY
VERIZON PENNSYLVANIA, INC.
UPPER UWCHLAN TOWNSHIP
UPPER UWCHLAN MUNICIPAL AUTHORITY

LEGEND

[illegible]

| REV. | DATE | DESCRIPTION |
|------|----------|-------------------------------------|
| 4 | 09/28/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 3 | 09/04/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 2 | 06/01/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 1 | 06/01/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |

PRELIMINARY/FINAL
PROFILE SHEET

CLIENT: QBD VENTURES
PROJECT: BYERS ROAD PROPERTY
LOCATION: 164. BYERS ROAD
UPPER UNHOLAN TOWNSHIP, CHESTER COUNTY, PA

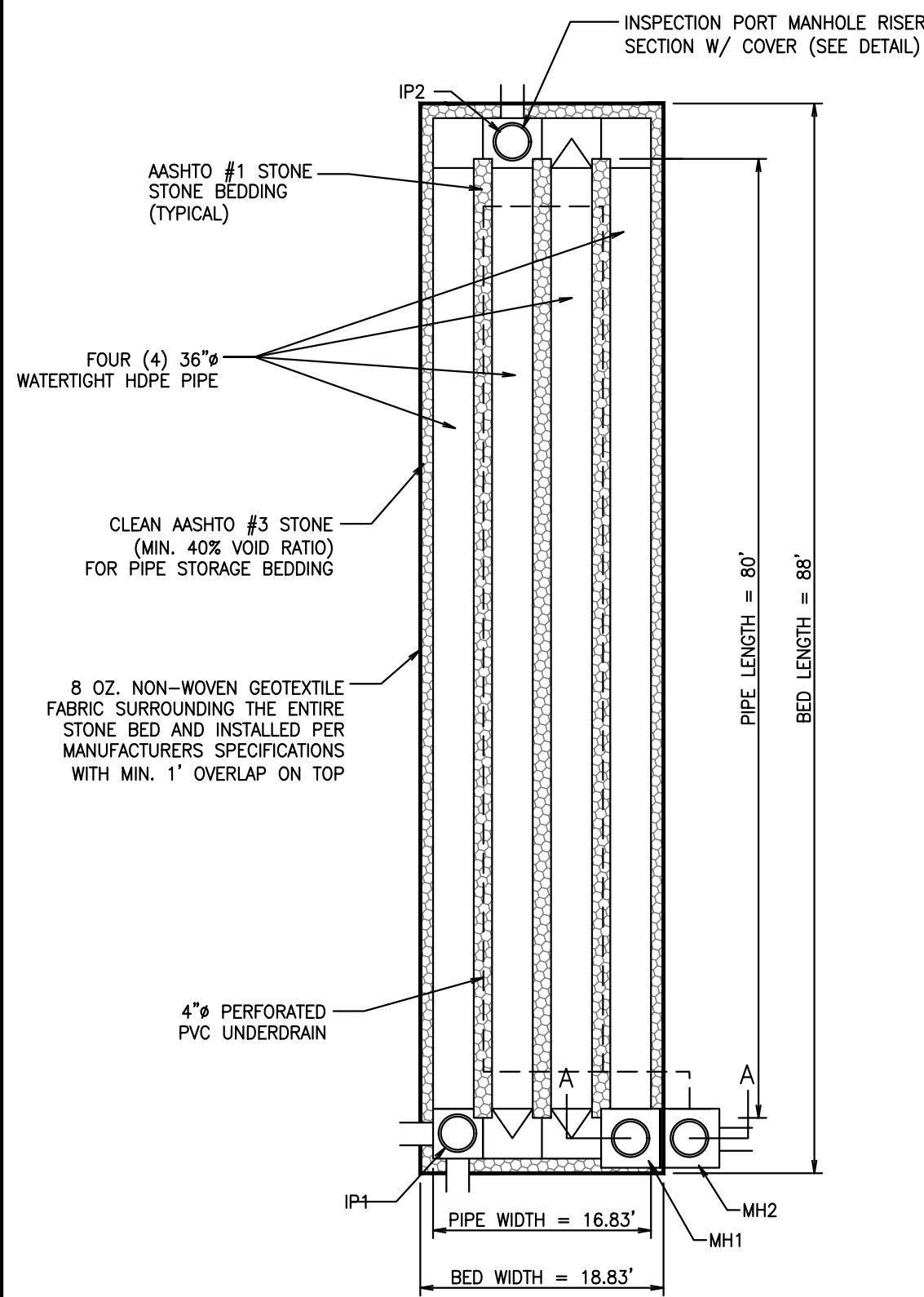
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| PROJECT NO.: | 2146 |
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| PLOTTED: | 09/28/23 |
| DRAWING NO.: | C05.01 |
| SHEET | 06 of 13 |



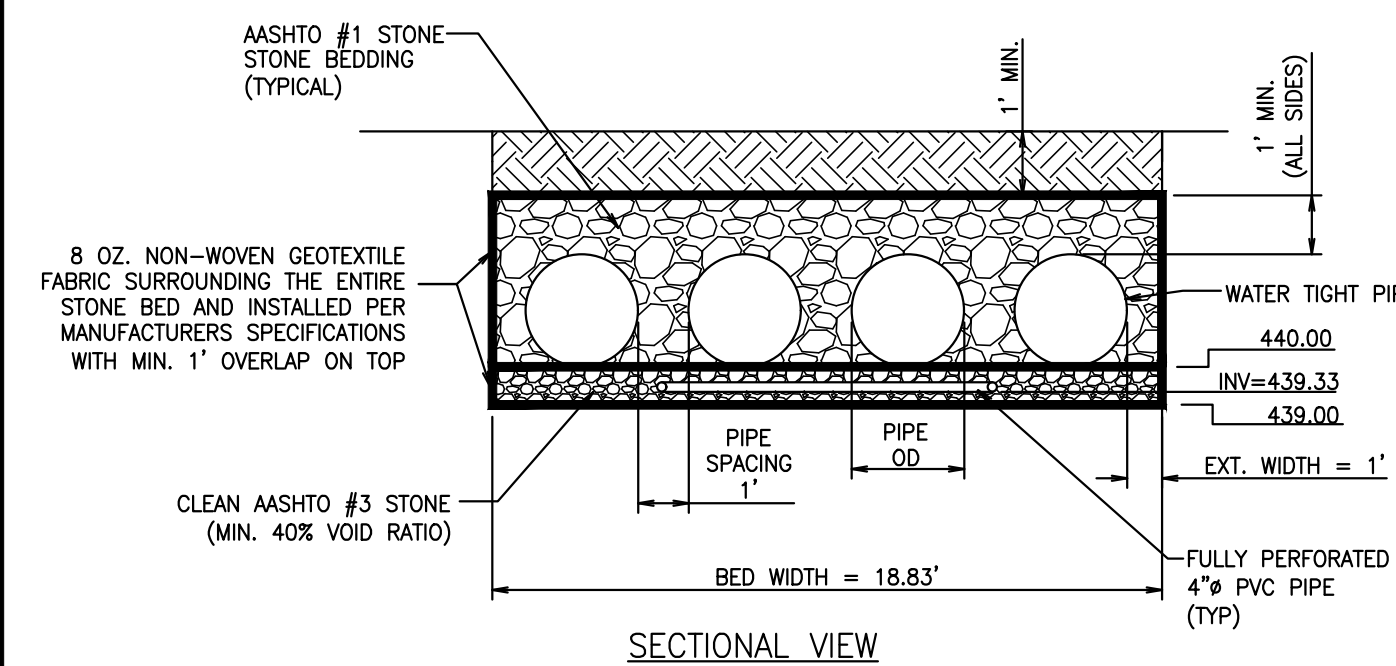
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PLAN VIEW

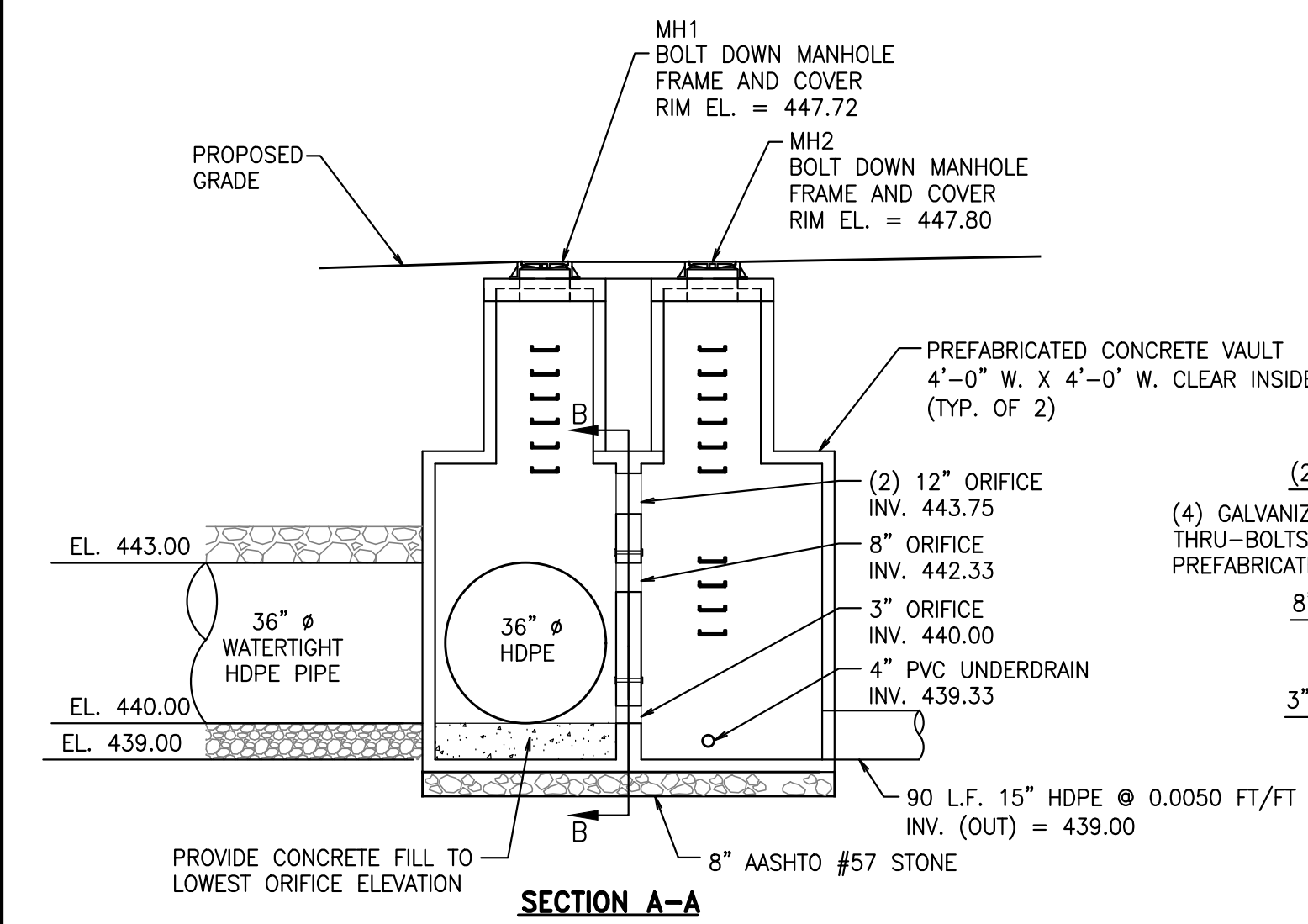


SECTIONAL VIEW

PROPOSED PIPE STORAGE DETAIL

SCALE: NOT TO SCALE

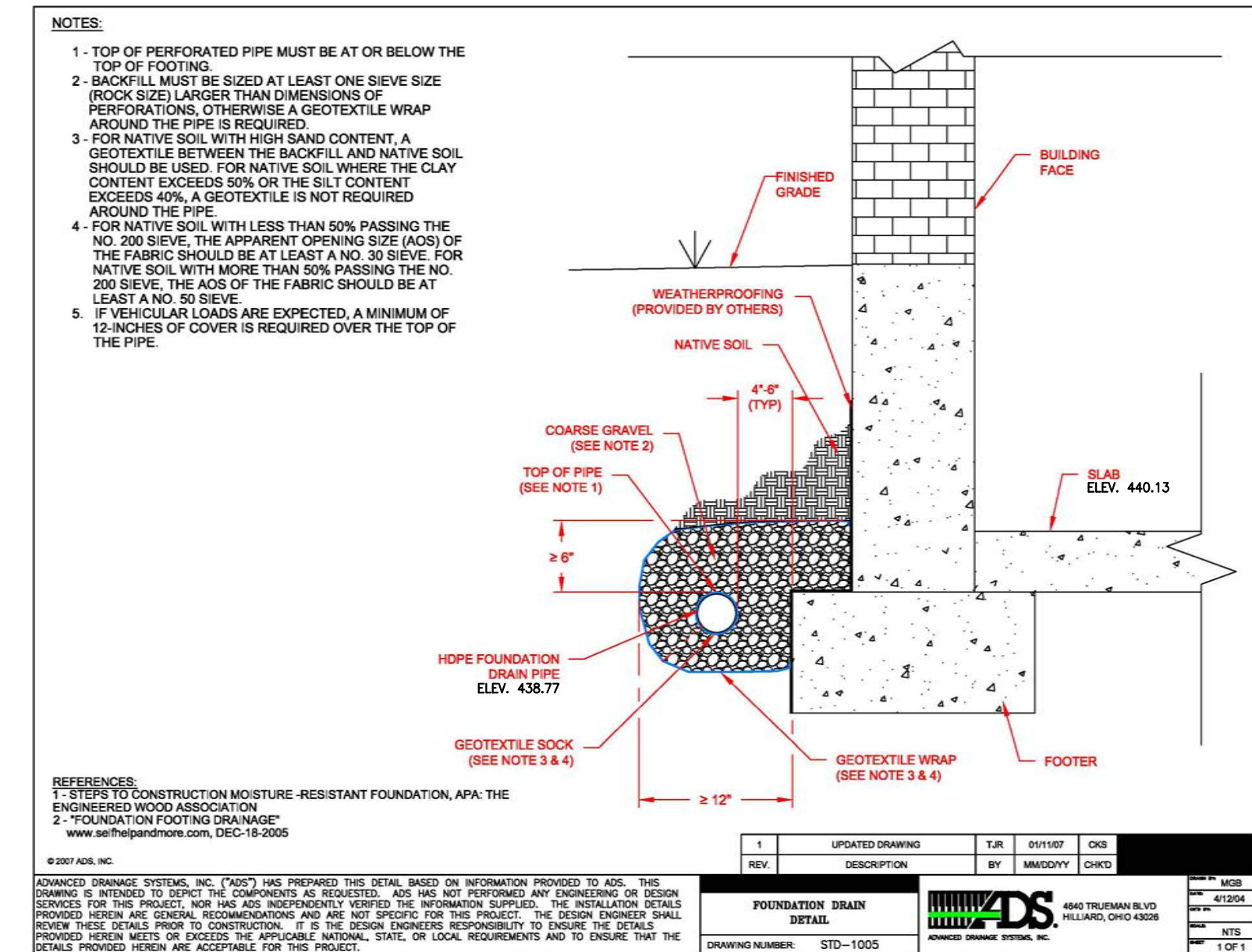
- NOTES:
- PIPE BEDDING MATERIAL SHALL BE PER MANUFACTURER'S SPECIFICATION.
 - HAUNCH MATERIAL SHALL BE PER MANUFACTURER'S SPECIFICATION.
 - GEOTEXTILE FABRIC SHALL CONFORM TO PENNDOT 408 SPECIFICATIONS - SECTION 212 GEOTEXTILES OR LATEST ADDENDA.



SECTION A-A

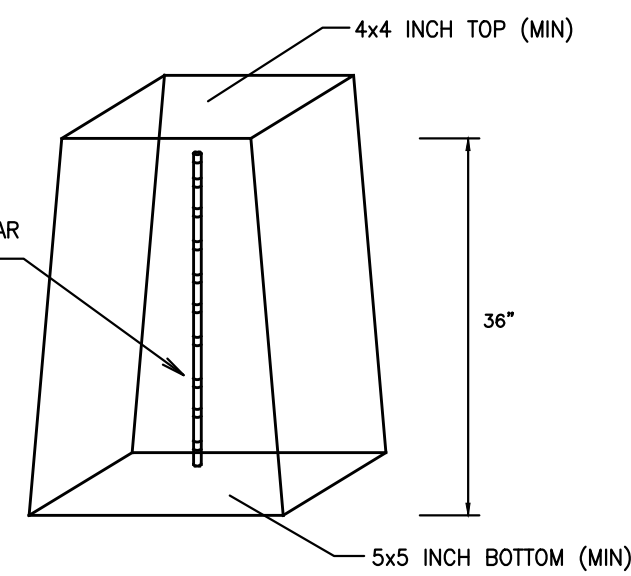
OUTLET STRUCTURE @ PIPE STORAGE DETAIL

SCALE: NOT TO SCALE



SCHEMATIC - BUILDING & FOUNDATION DRAIN

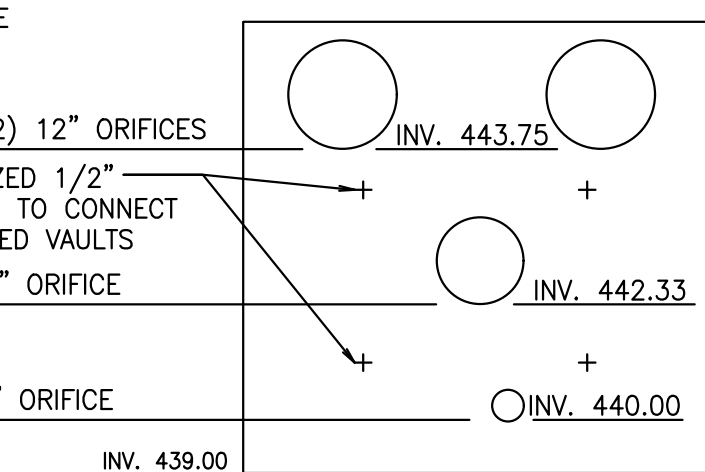
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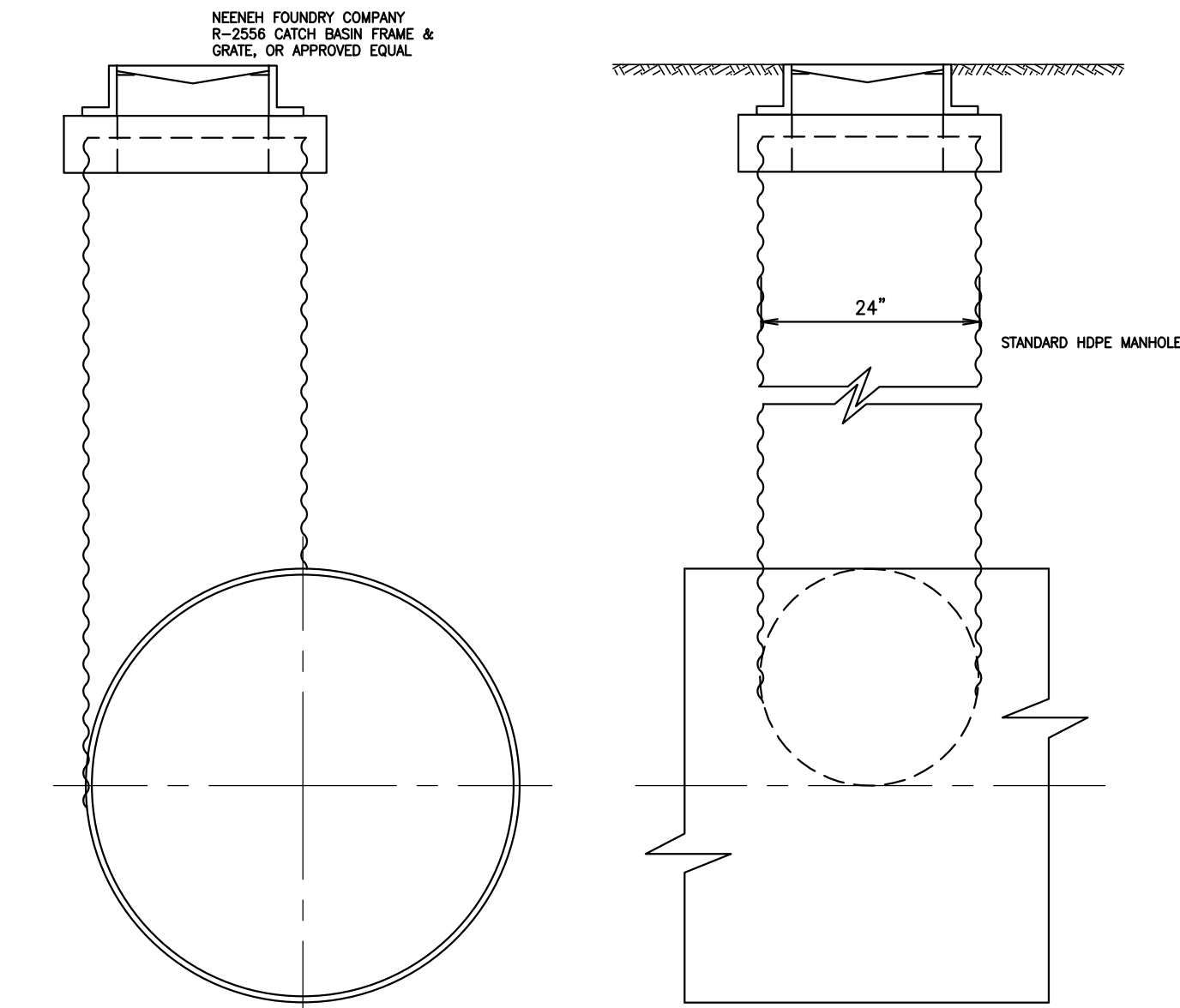
USE PA DOT CLASS A CONCRETE OR BETTER.

CONCRETE MONUMENT DETAIL

NOT TO SCALE



SECTION B-B

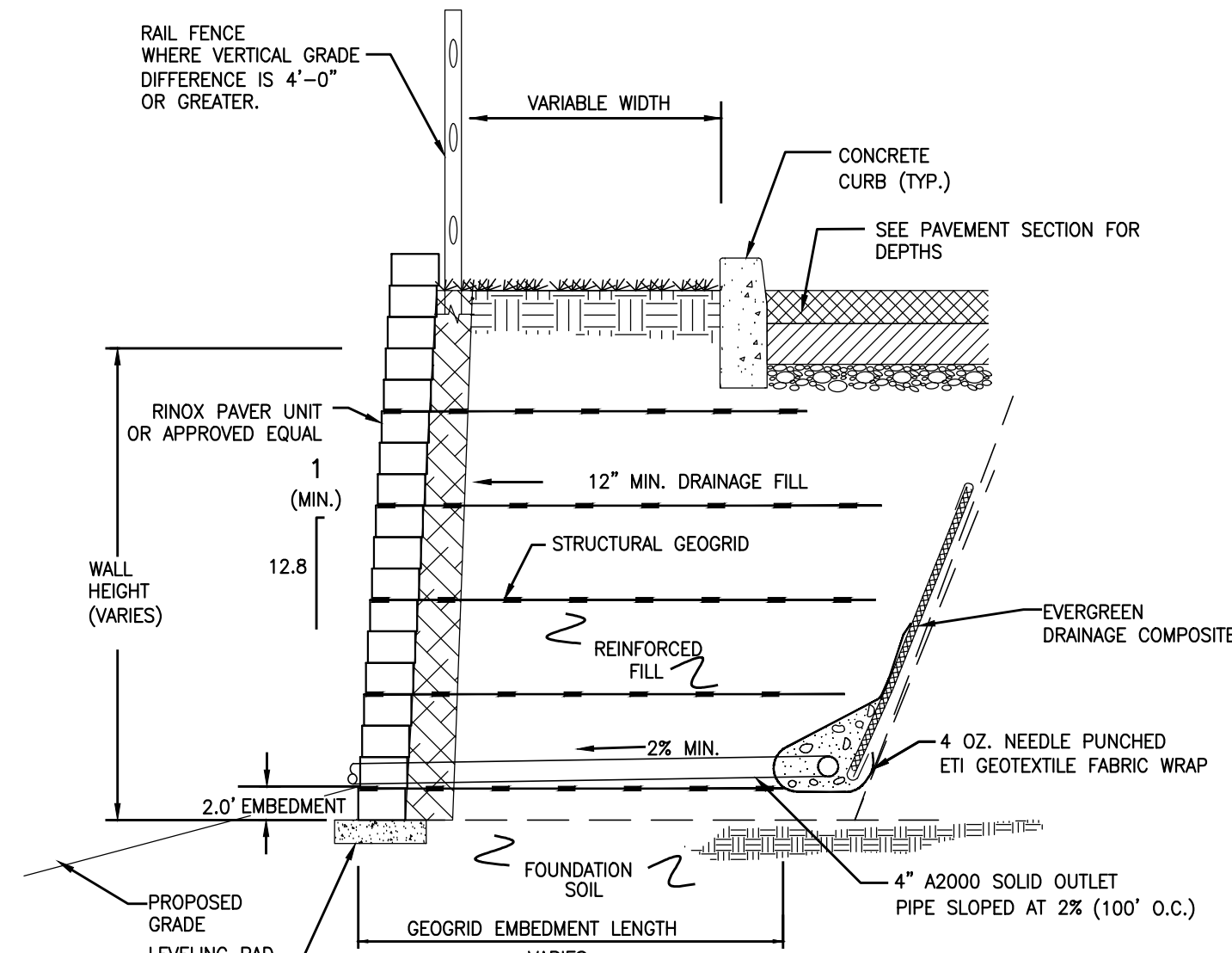


INSPECTION PORT FOR PIPE STORAGE STRUCTURES (TYP.)

SCALE: NOT TO SCALE

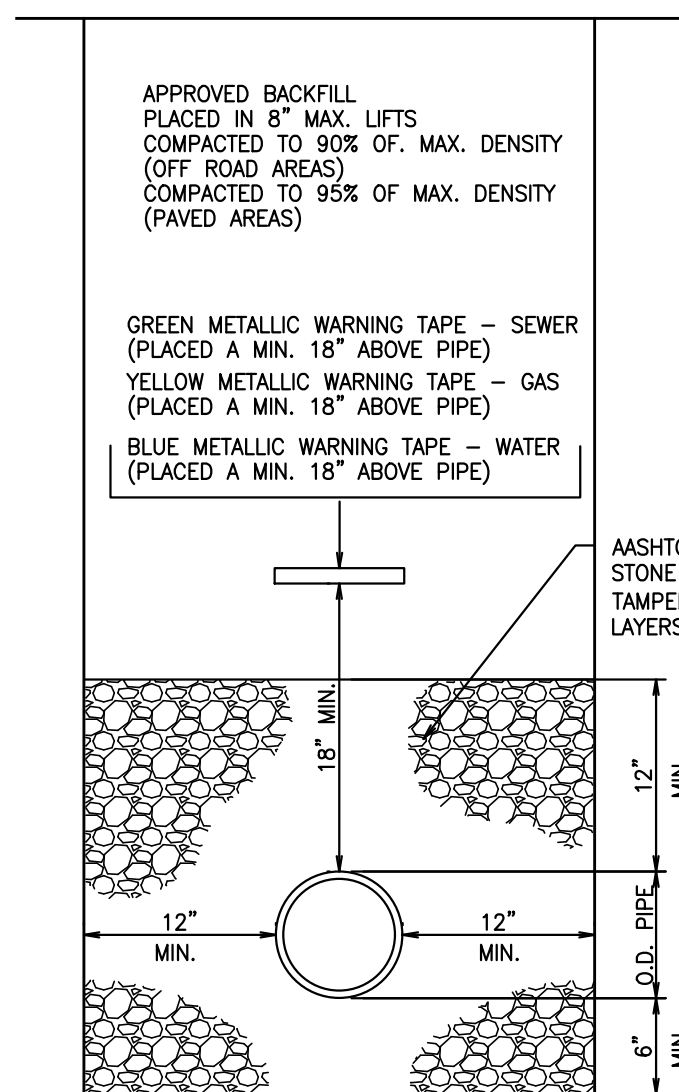
OPERATION AND MAINTENANCE:

- INDIVIDUAL LATERAL LOCATIONS MAY BE REVISED IN THE FIELD TO SAVE INDIVIDUAL TREES.
- ANY FILL TO OCCUR DOWNHILL OF THE SEEPAGE BEDS SHALL BE COMPACTED TO A 95% MAX. DENSITY.
- INFLOW AND OUTFLOW POINTS OF THE STORMWATER SYSTEM SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE SYSTEMS. ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.



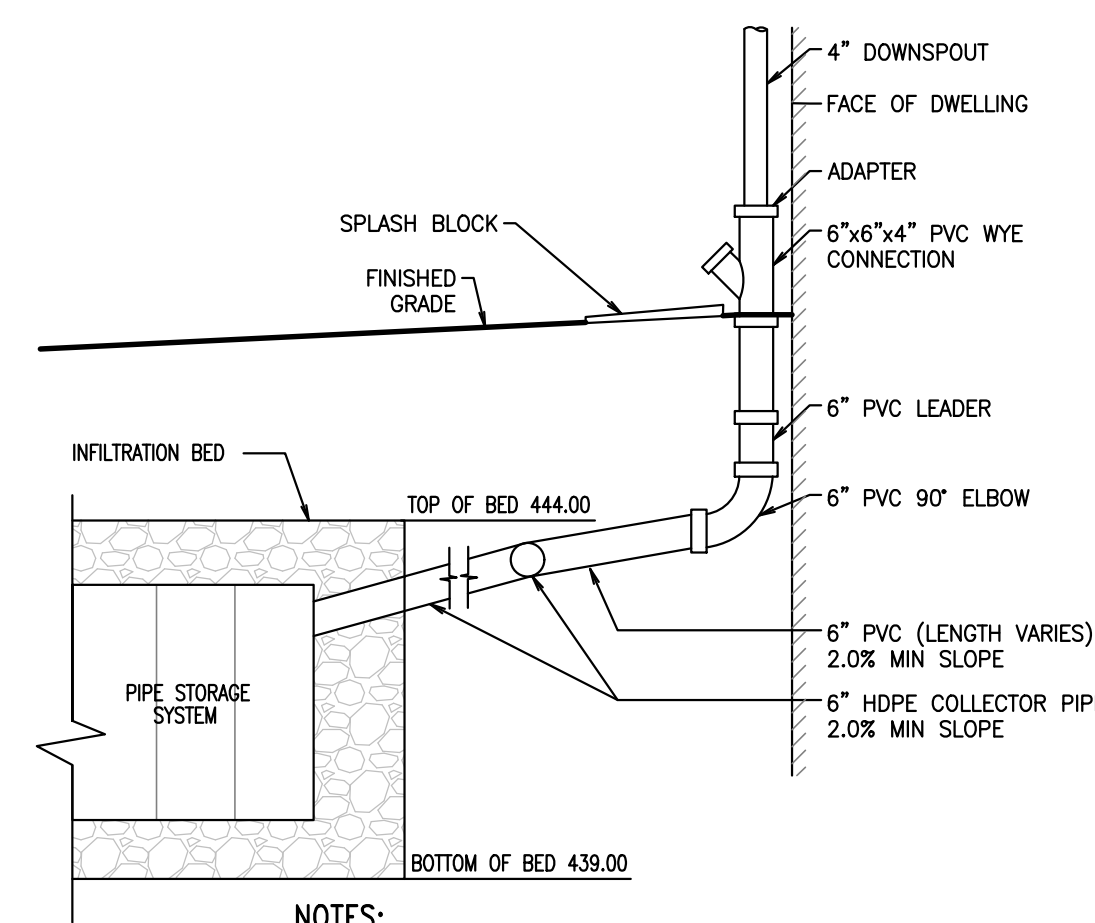
RETAINING WALL DETAIL (TYPICAL)

NO SCALE



TYPICAL UTILITY TRENCH DETAIL

SCALE: NOT TO SCALE

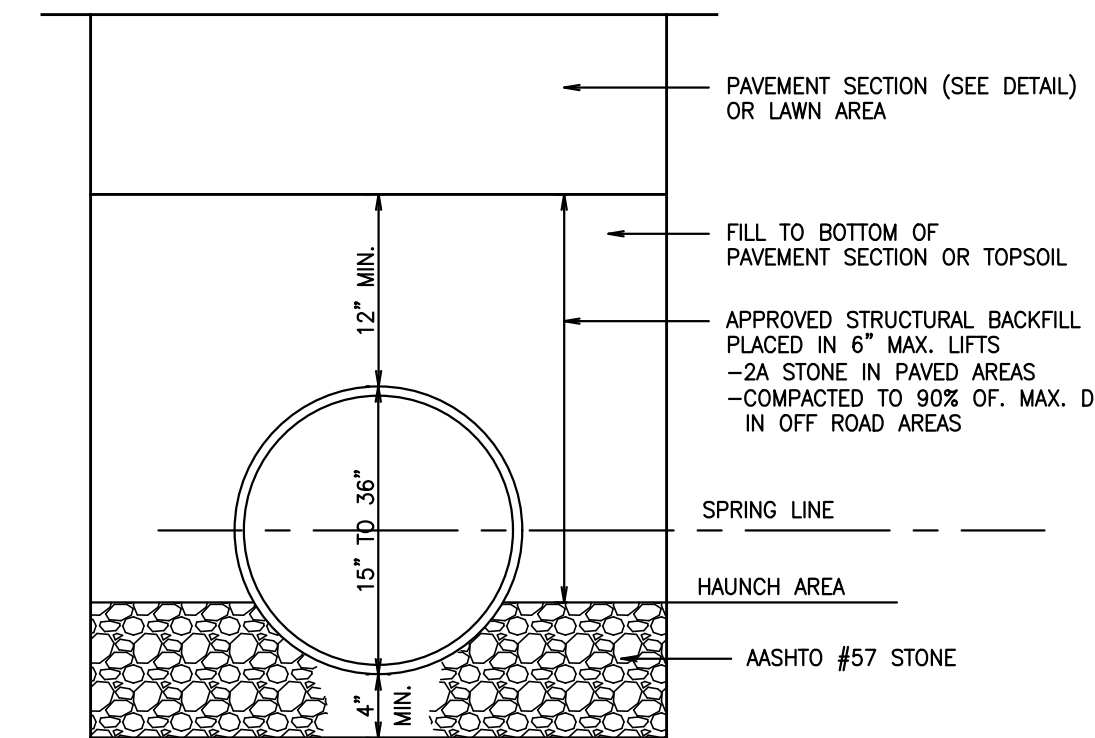


NOTES:

- PVC MAY BE SUBSTITUTED WITH AN APPROVED EQUAL MATERIAL
- LEAF GUARDS TO BE INSTALLED ON ALL GUTTER DOWNSPOUTS

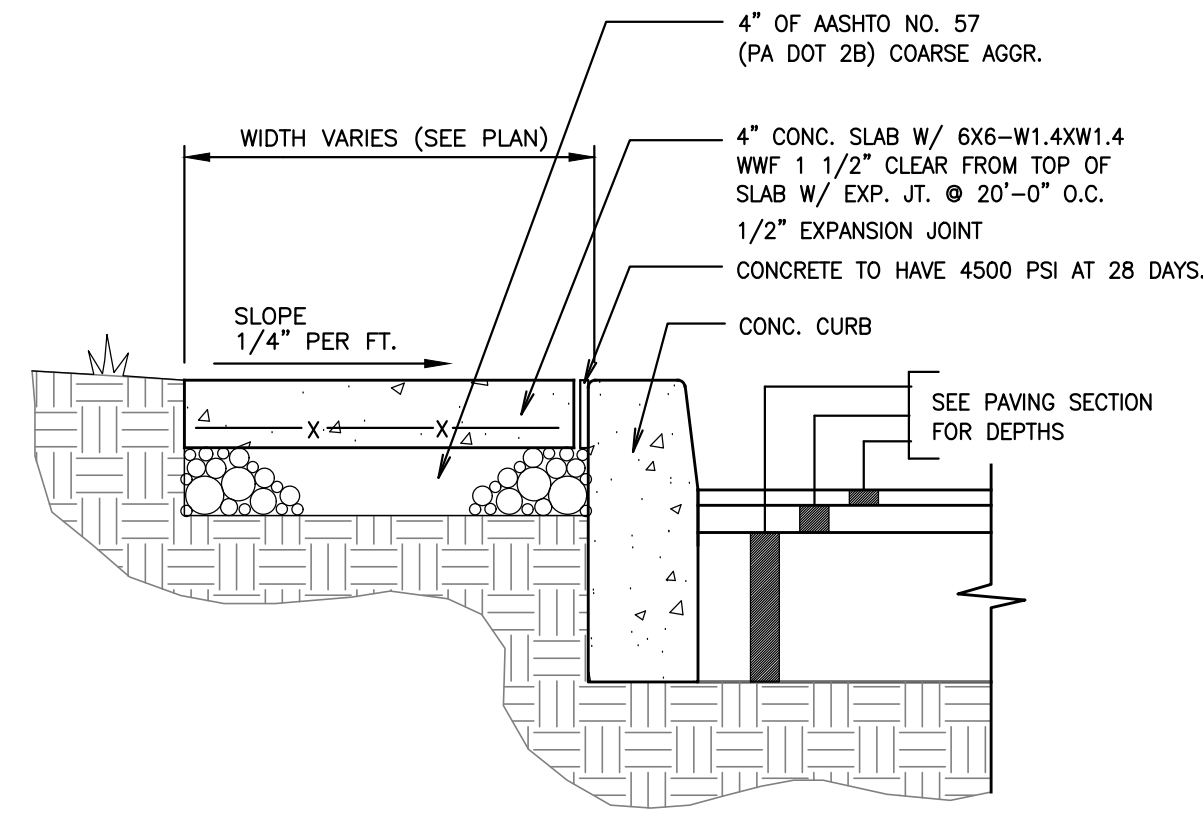
DOWNSPOUT CONNECTION DETAIL

NO SCALE



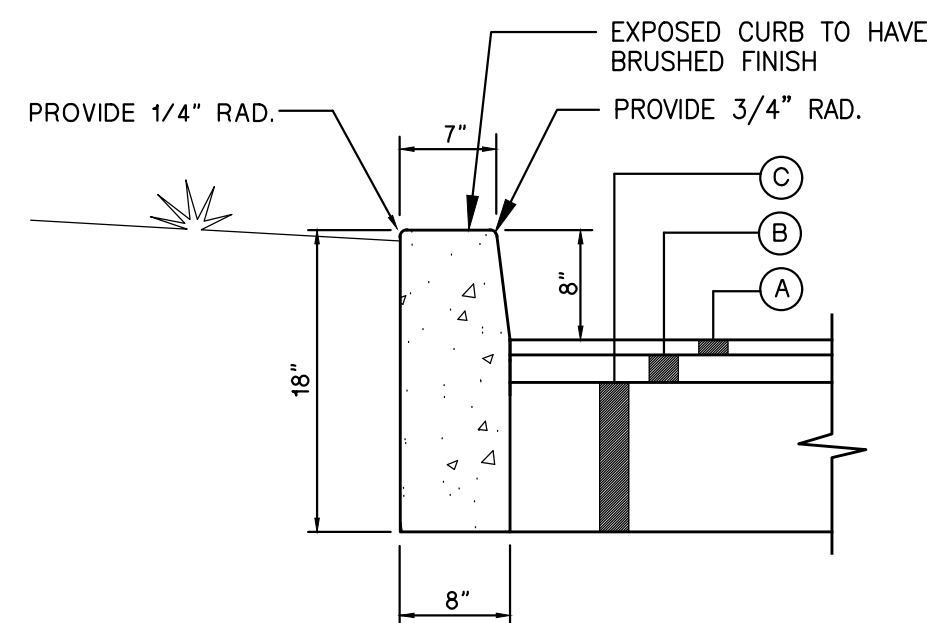
HDPE STORM PIPE TRENCH DETAIL

SCALE: NOT TO SCALE



TYPICAL SIDEWALK DETAIL

SCALE: NOT TO SCALE



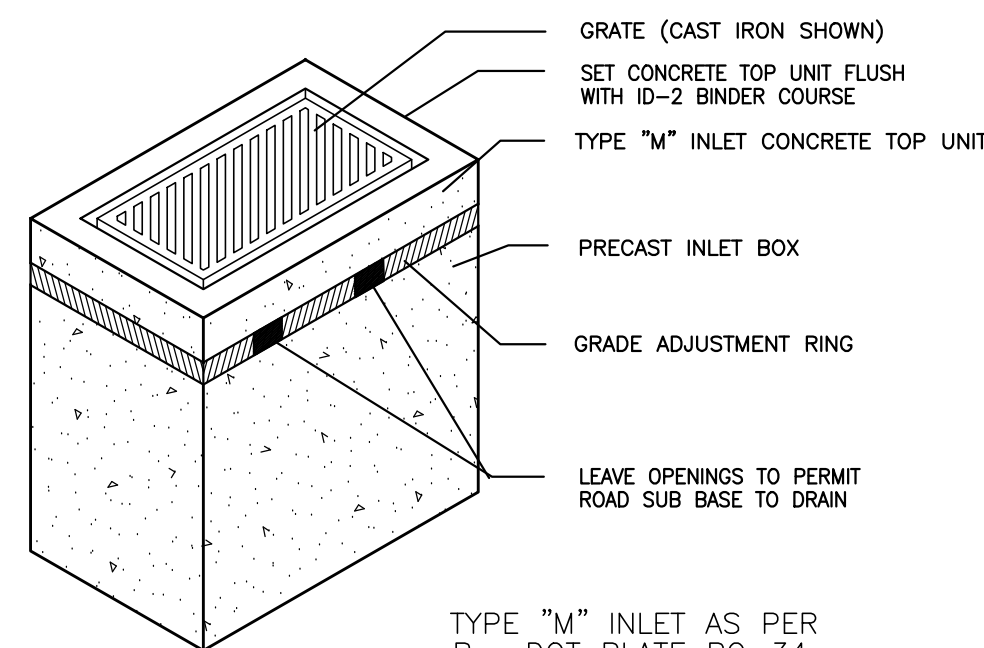
TYPICAL PAVING SECTION

- 1-1/2" ID-2 WEARING COURSE
- 2 1/2" ID-2 BINDER COURSE
- 6" 3A MODIFIED STONE

- NOTES:
- ALL MATERIALS & WORK TO CONFORM TO PennDot FORM 408 SPECIFICATIONS. LATEST EDITION.
 - CONCRETE TO HAVE 3750 P.S.I. AT 28 DAYS.

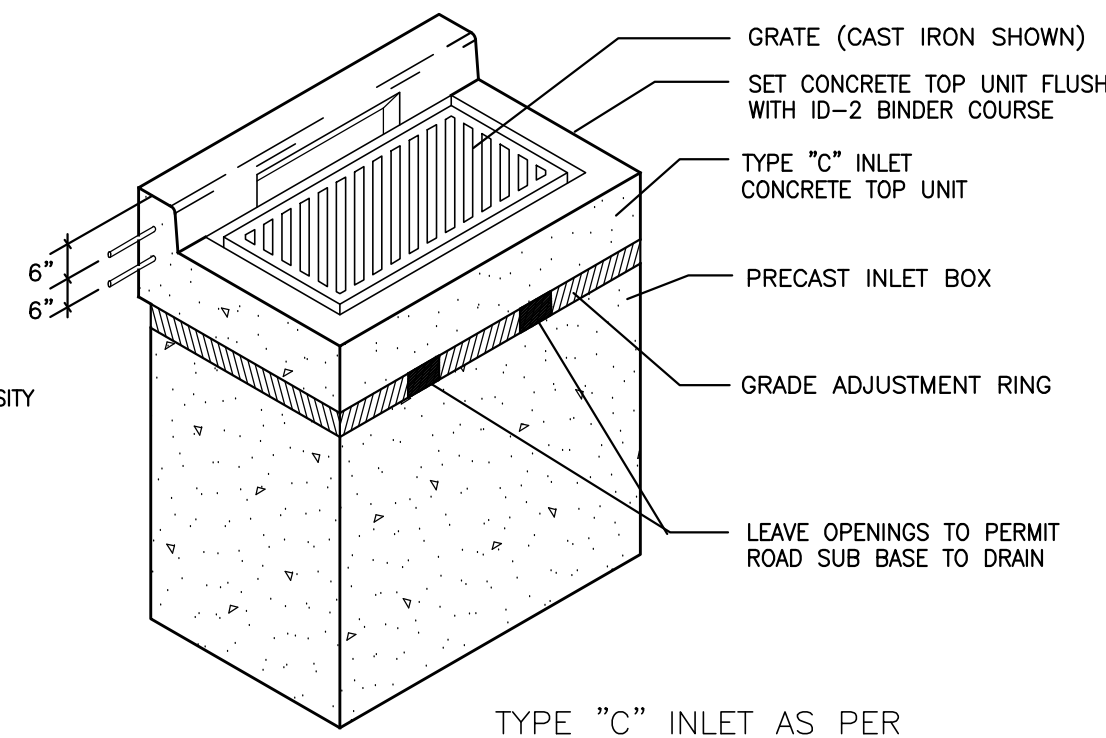
8" CURBING & PAVING SECTION

SCALE: NOT TO SCALE



TYPE 'M' INLET

SCALE: NOT TO SCALE



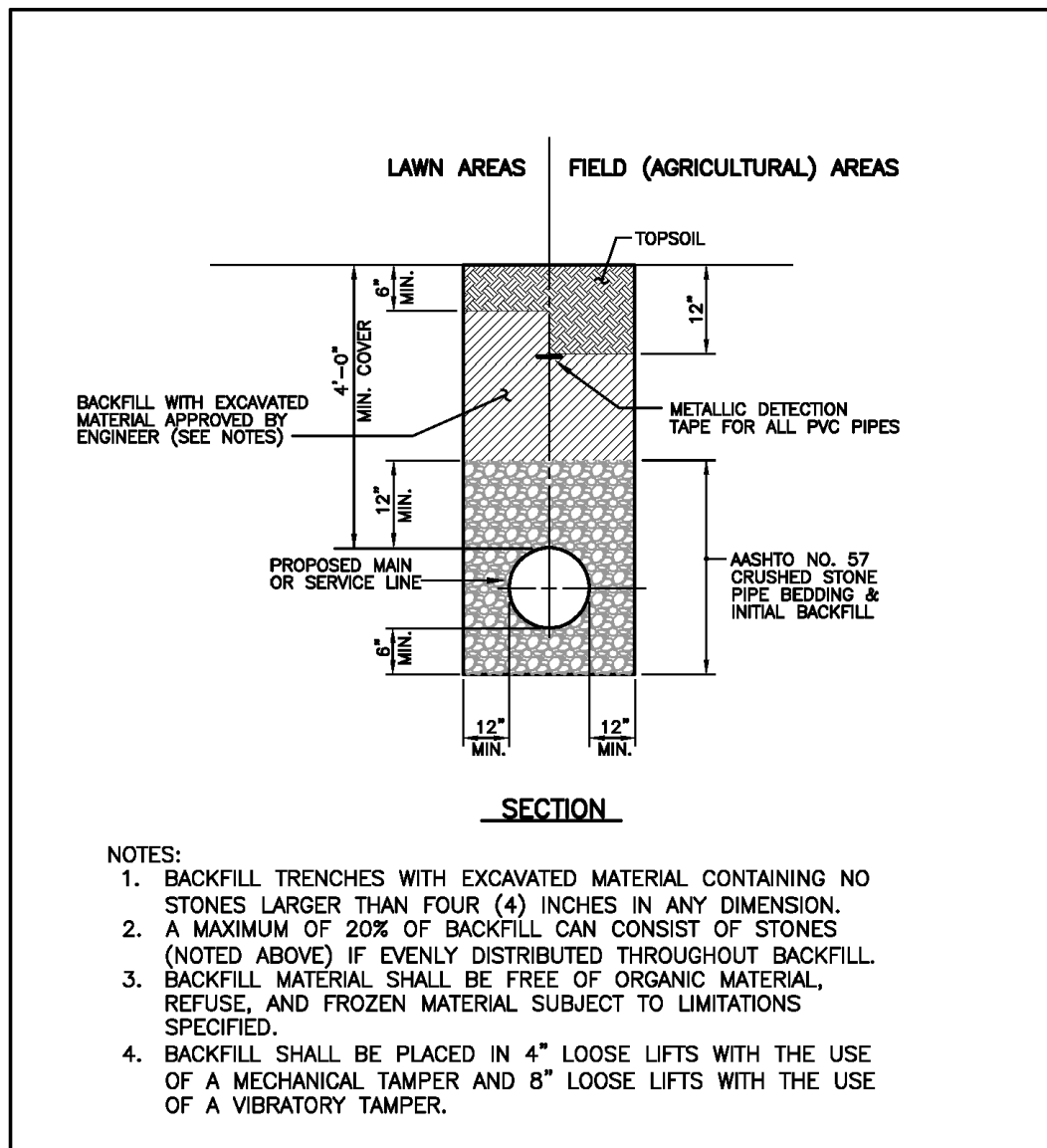
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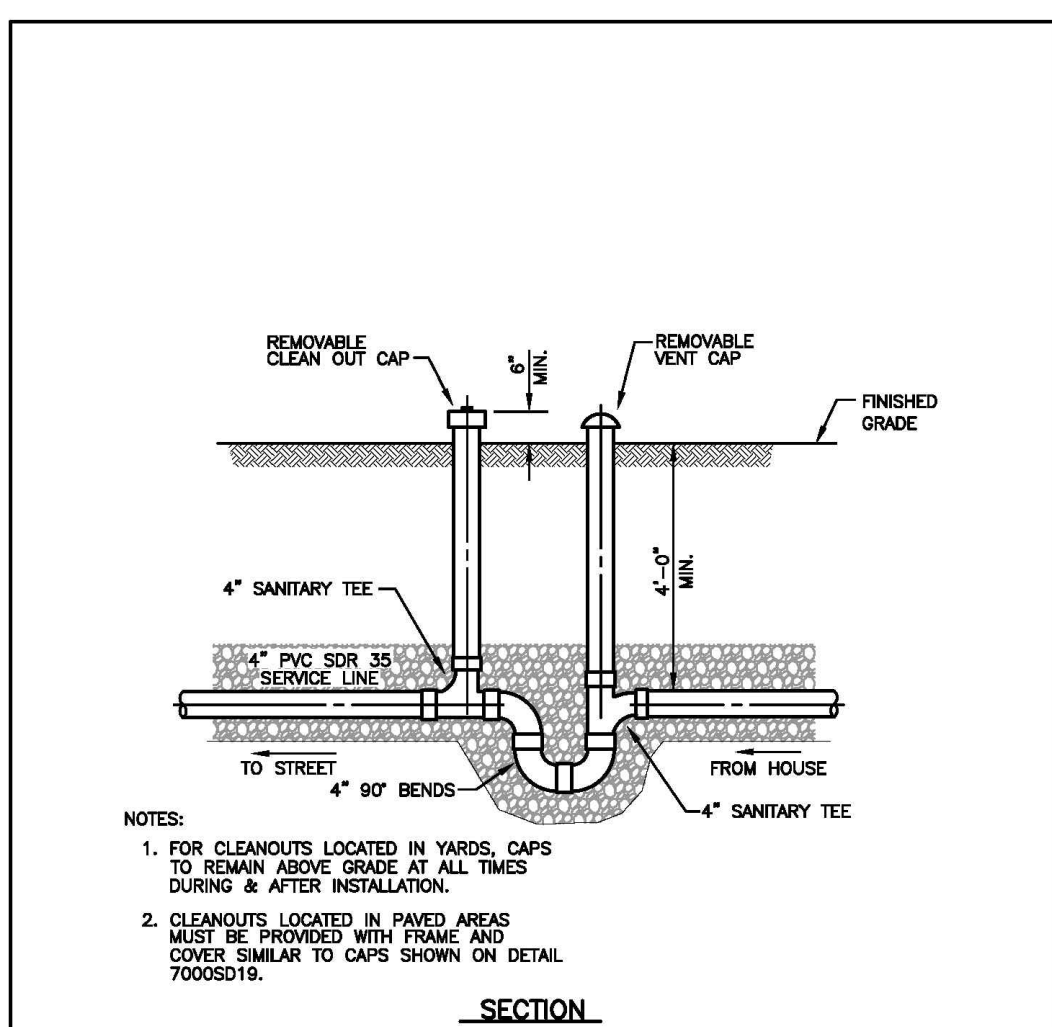
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|------|----------|--------------------------------------|
| 1 | 06/01/23 | REVISION PER TOWNSHIP REVIEW LETTERS |
| 2 | 08/04/23 | REVISION PER TOWNSHIP REVIEW LETTERS |
| 3 | 09/28/23 | REVISION PER TOWNSHIP REVIEW LETTERS |


| | |
|--------------------------|---|
| PRELIMINARY/FINAL | DETAIL SHEET |
| CUSTOMER: OBD VENTURES | PROJECT: BYERS ROAD PROPERTY |
| LOCATION: 164 BYERS ROAD | UPPER UHCLAN TOWNSHIP, CHESTER COUNTY, PA |

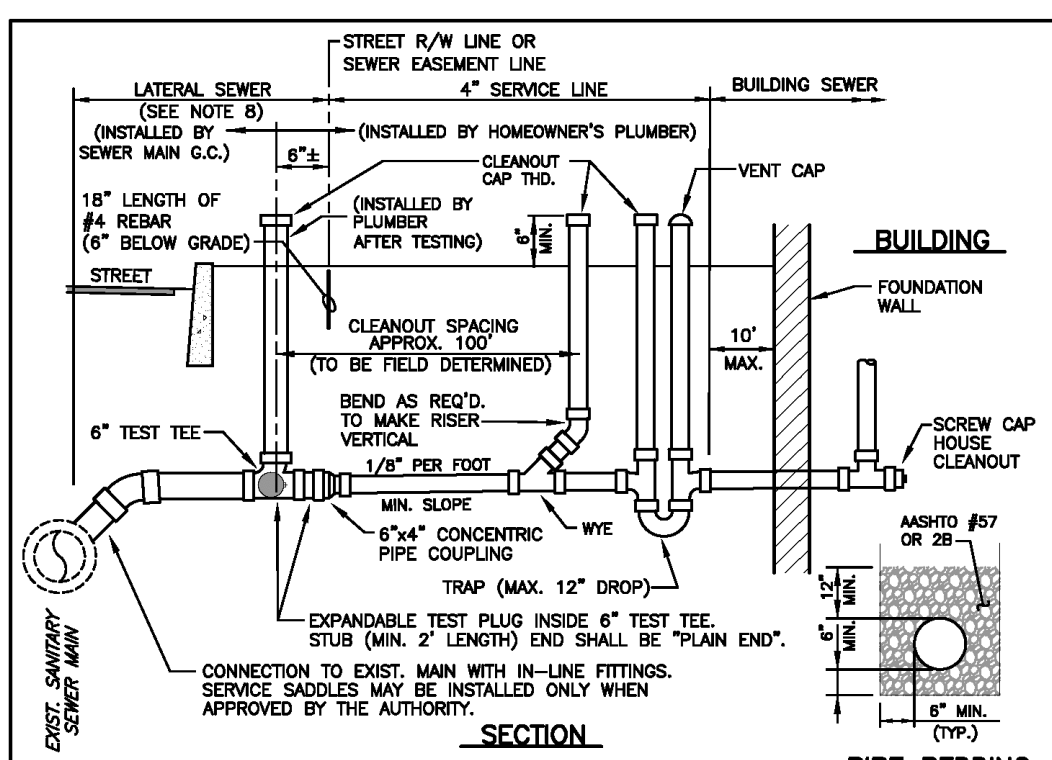
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| DATE: | 12/21/20 |
| SCALE: | AS SHOWN |
| DRAWN BY: | AM |
| CHECKED BY: | DWG |
| PROJECT NO.: | 2146 |
| CAD FILE: | 06 DETAIL SHEET.dwg |
| PLOTTED: | 09/28/23 |
| DRAWING NO.: | C06.01 |
| SHEET | 07 of 13 |



| | | | |
|----------|-------|---|--|
| | | Upper Uwchlan Township Municipal Authority STANDARD DETAIL - SEWER SYSTEM |  Suite 200, 321 N. Fumole St. Bridgeton, NJ 08302 Tel 610-374-5285 Fax 610-374-5287 |
| | | | |
| | | | |
| | | | |
| | | | |
| 4 | 4/21 | TRENCH RESTORATION LAWN/FIELD AREAS | DATE: APRIL 2021 |
| 3 | 1/13 | | DETAIL: 70008229 |
| 2 | 6/05 | | |
| 1 | 11/04 | | |
| REVISION | DATE | | |



| | | | | |
|----------|-------|---|--|---|
| | | Upper Uwchlan Township Municipal Authority | |  |
| | | STANDARD DETAIL - SEWER SYSTEM | | |
| 4 | 4/21 | | | DATE: APRIL 2021 |
| 3 | 1/13 | | | DETAIL: 7000SD18 |
| 2 | 6/05 | | | |
| 1 | 11/04 | | | |
| REVISION | DATE | SERVICE LINE CLEANOUT & VENT | | |



PIPE BEDDING

NOTES:

1. PROVIDE 6" OF ASHFTO NO. 57

2. BENEATH BENT PIPE AND 12" ABOVE PIPE (TYPICAL EXTRE LENGTH OF LATERAL AND SERVICE LINE)

3. MINIMUM SLOPE SHALL = 1/8" PER FT.

4. MINIMUM DEPTH OF COVER = 4 FT

5. PIPE MATERIALS:

LATERAL SEWER - PVC SDR 35 OR DIP CLASS 52 WHEN INSTALLED IN FULL MATERIAL SIZE - PVC SDR 35 OR SCH 40

5. TO CONDUCT AIR TESTING OF SERVICE LINE, INSTALL EXPANDABLE PLUGS AT LOCATIONS AS SHOWN.

6. NO SEWER SERVICE LINE VENT CAPS SHALL BE INSTALLED WITH A 100-YR FLOOD PLAN OR WITHIN FLOOD PRONE AREAS.

7. NO VENT CAPS OR CLEANOUTS SHALL BE INSTALLED IN DRIVEWAYS OR OTHER PAVED AREAS, UNLESS SPECIFICALLY APPROVED BY UTILITIES AND CLEANOUTS IN DRIVEWAYS OR PAVED AREAS MUST BE PROVIDED WITH A FRAME AND COVER IN ACCORDANCE WITH

VENT & CLEANOUTS IN PAVED AREAS OF COVER.

8. THE LATERAL SEWER SHALL BE INSTALLED AT THE END OF THE SEWER EASEMENT FOR SEWERS LOCATED IN AN EASEMENT OR TO THE STREET RIGHT-OF-WAY AS THE IDEAL, TO SUCH POINT, AS REQUIRED, TO CLEAR STREET SIDEWALKS AND UNDERGROUND UTILITIES.

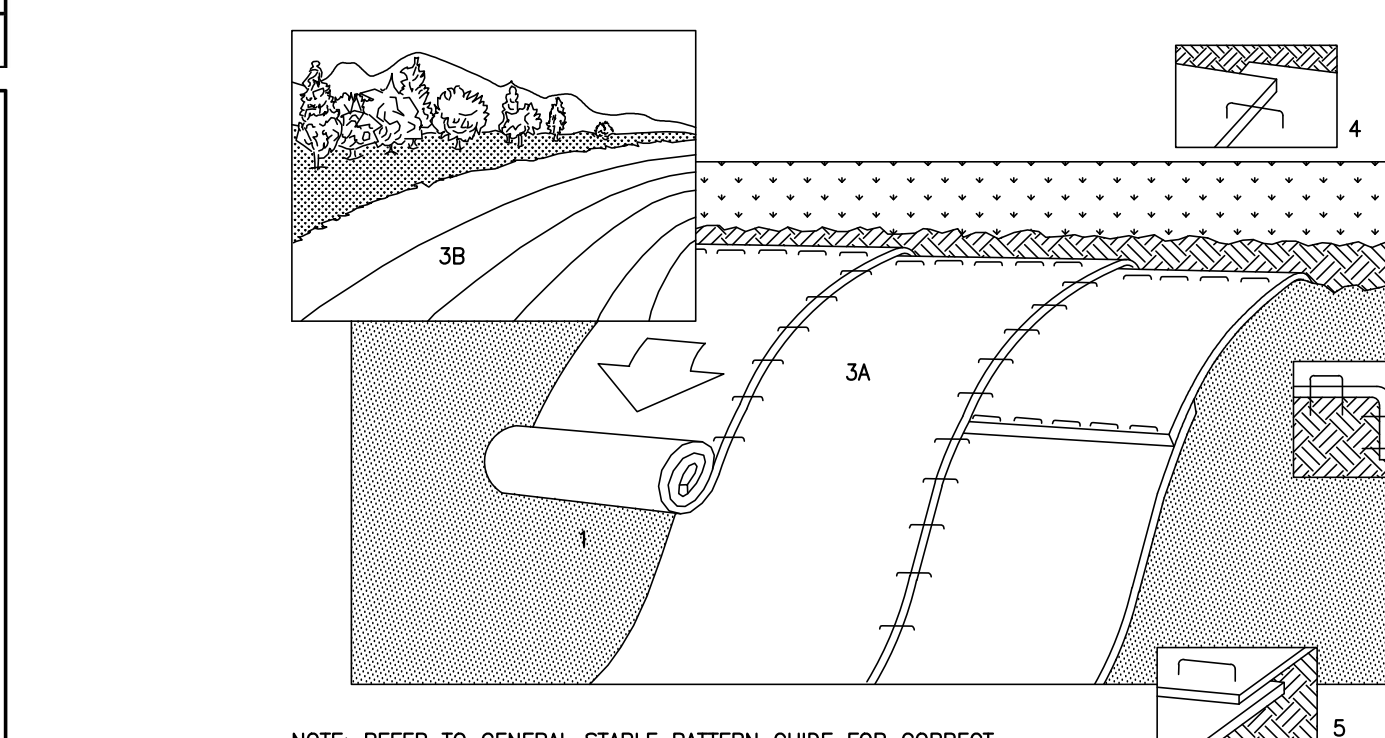
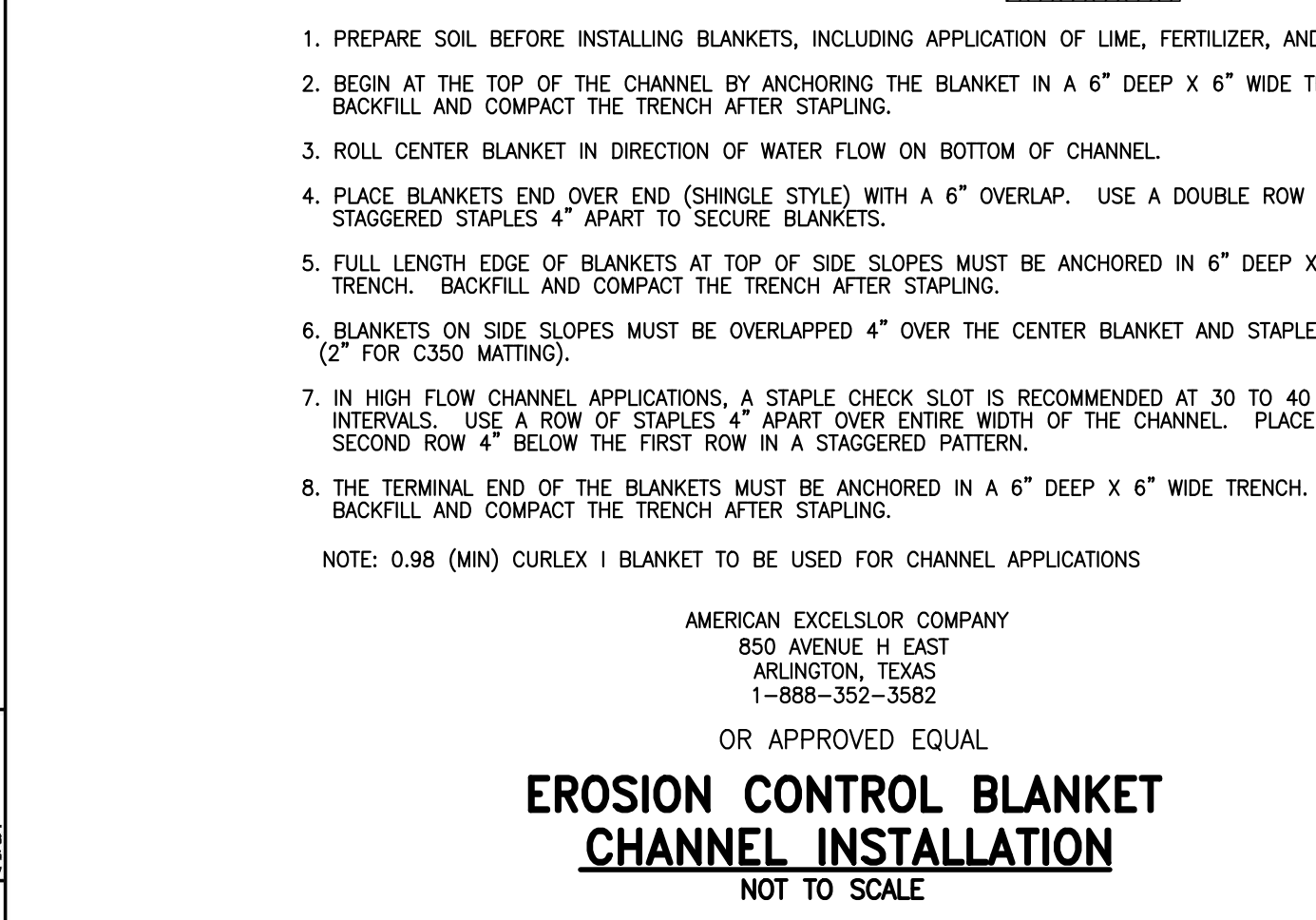
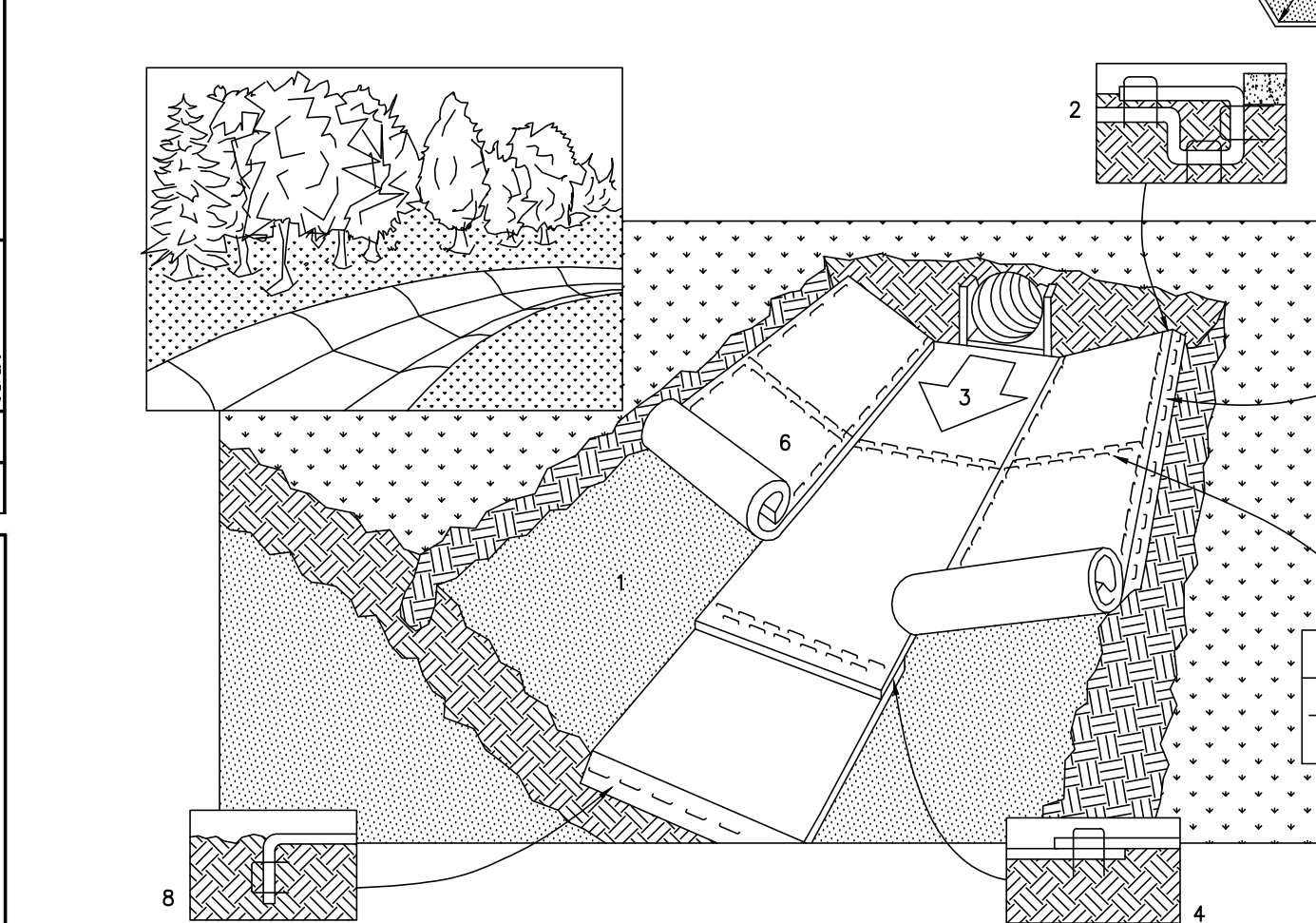
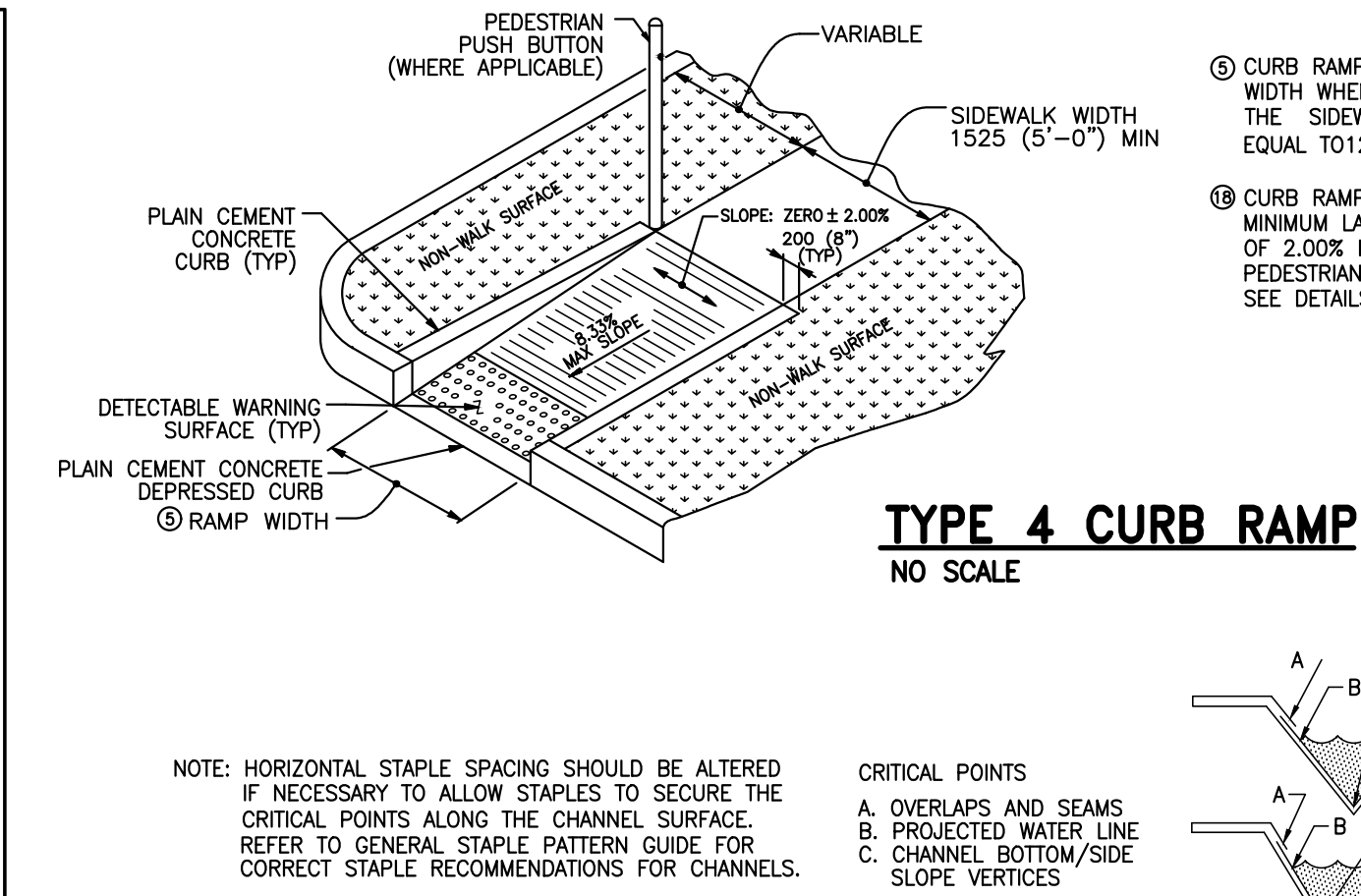
9. CLEANOUTS AND VENTS IN LAWN AREAS MUST BE 6" MINIMUM ABOVE GRADE.

| | 6 | 4/21 |
|----------|------|-------|
| | 5 | 9/15 |
| | 4 | 10/14 |
| | 3 | 1/13 |
| | 2 | 6/05 |
| | 1 | 11/04 |
| REVISION | DATE | |

Upper Uwchlan Township
Municipal Authority

STANDARD DETAIL - SEWER SYSTEM

DATE: APRIL 2021
DETAIL: 70008117



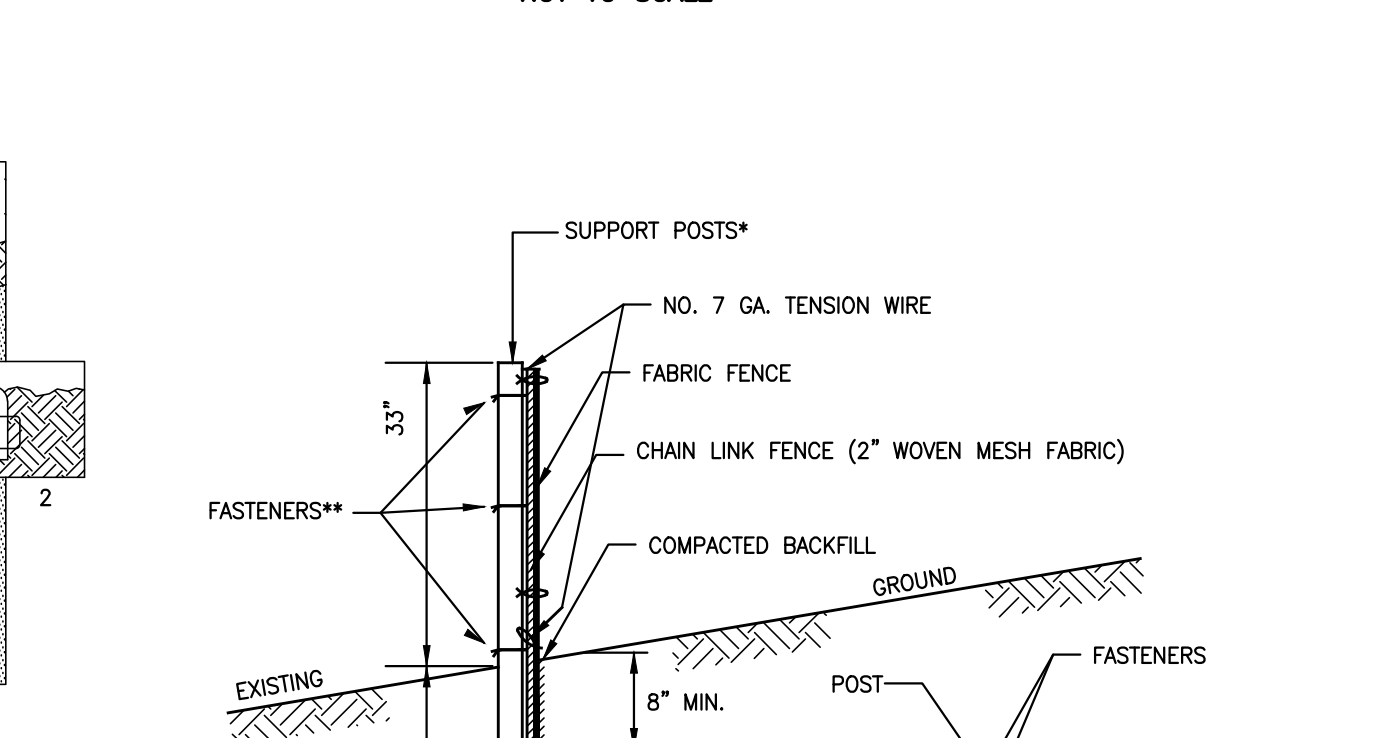
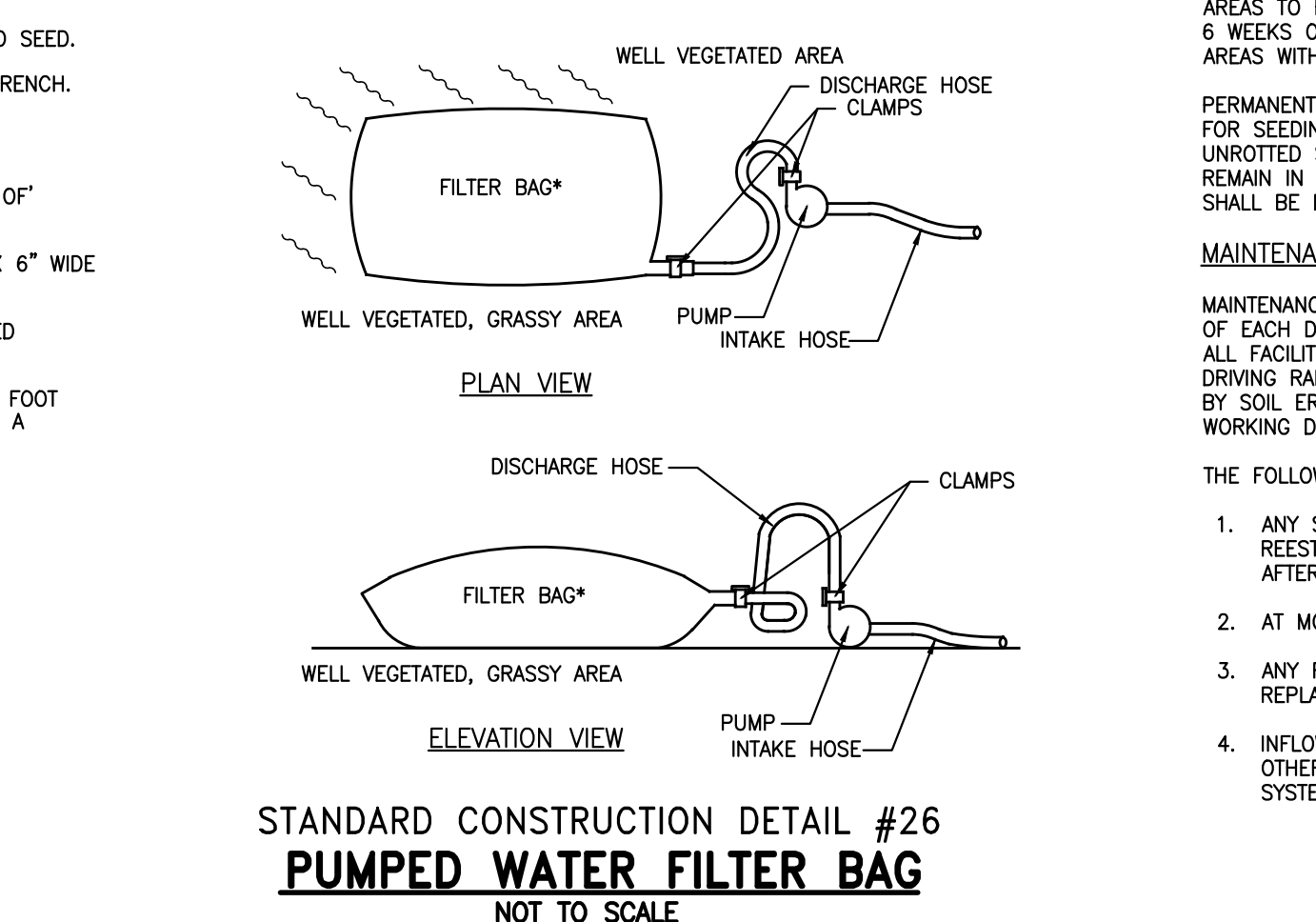
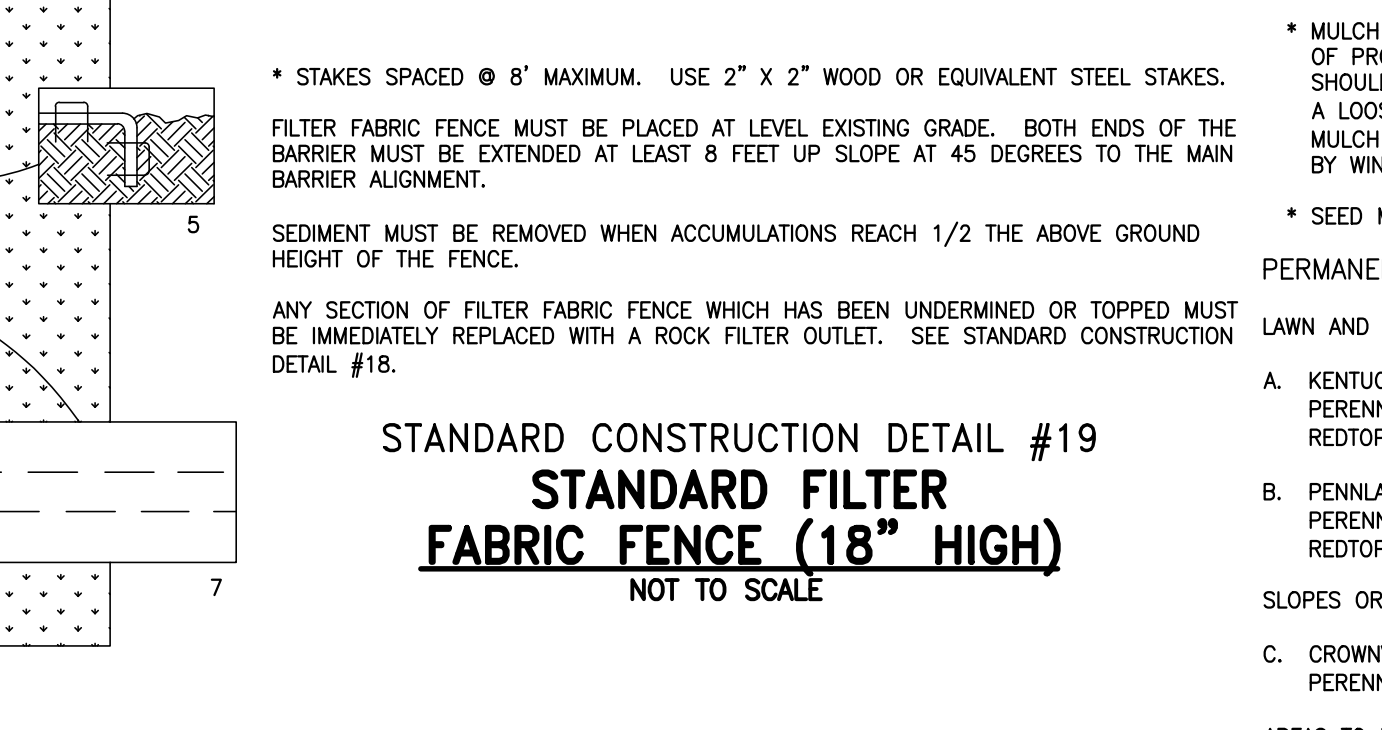
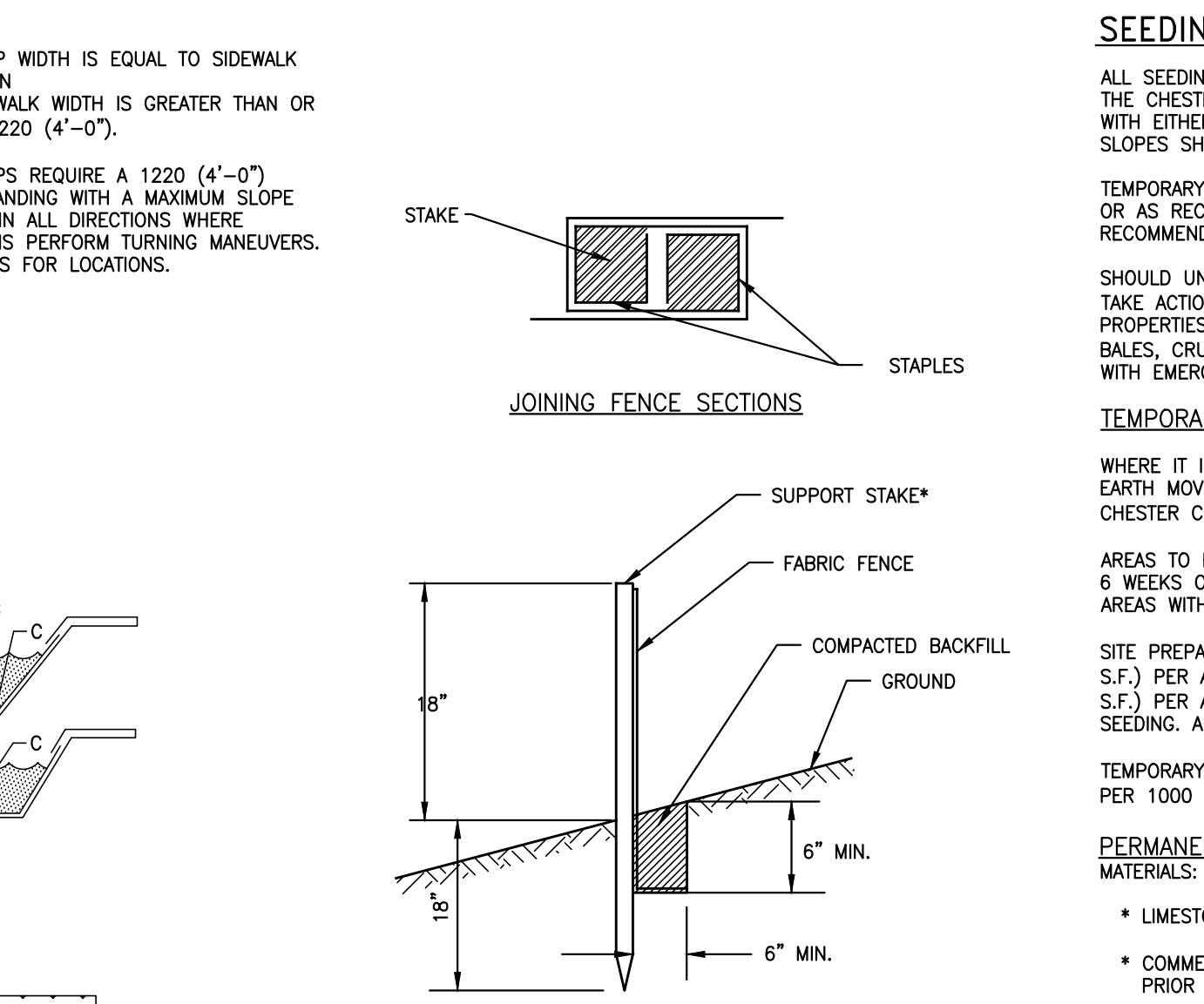
NOTE: REFER TO GENERAL STANDARD SPECIFICATIONS GUIDE FOR SLOPE INSTALLATIONS.
STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

NOTE: 0.98 (MIN) CURLEX I BLANKET TO BE USED FOR SLOPE APPLICATIONS

AMERICAN EXCELSIOR COMPANY
850 AVENUE H EAST
ARLINGTON, TEXAS
1-888-352-3582
OR APPROVED EQUAL

EROSION CONTROL BLANKET
SLOPE INSTALLATION
NOT TO SCALE



* POSTS SPACED @ 10' MAX. USE 2 1/2" DIA. GALVANIZED OR ALUMINUM POSTS.

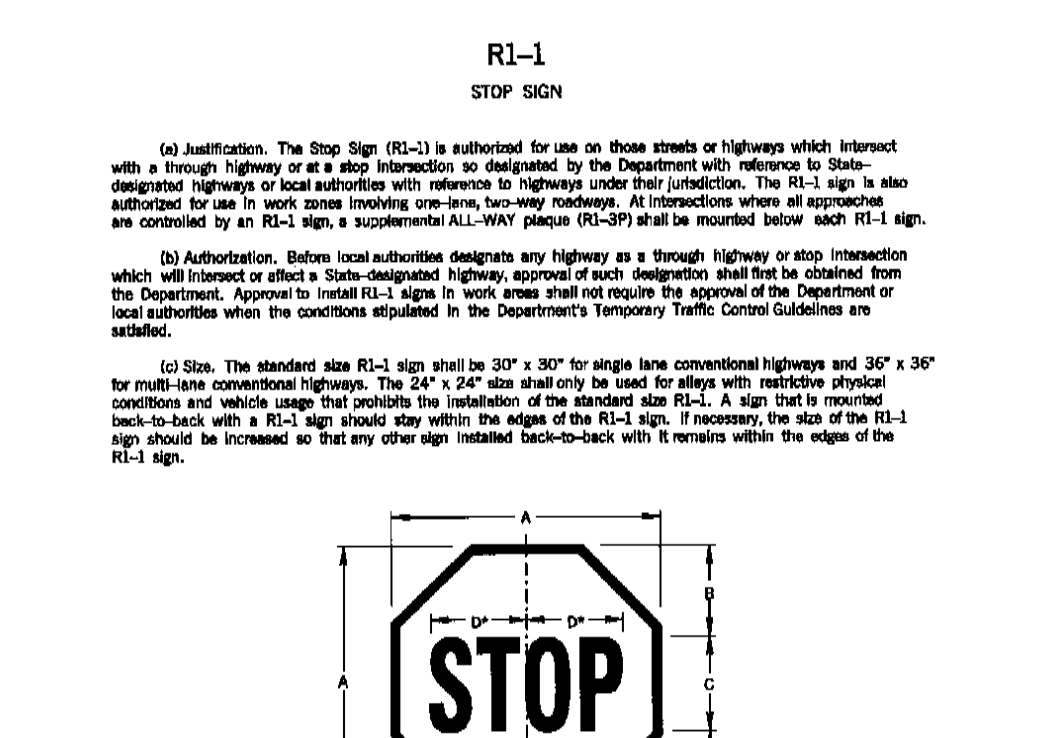
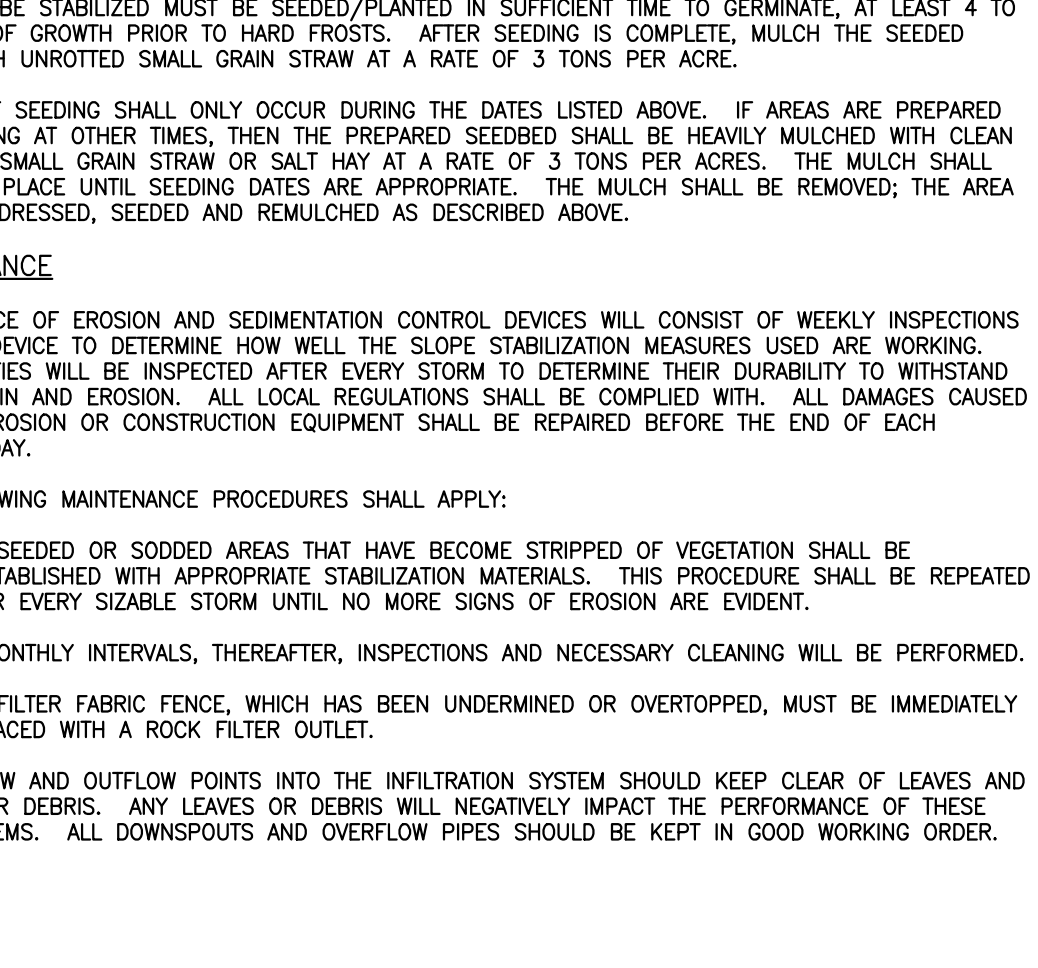
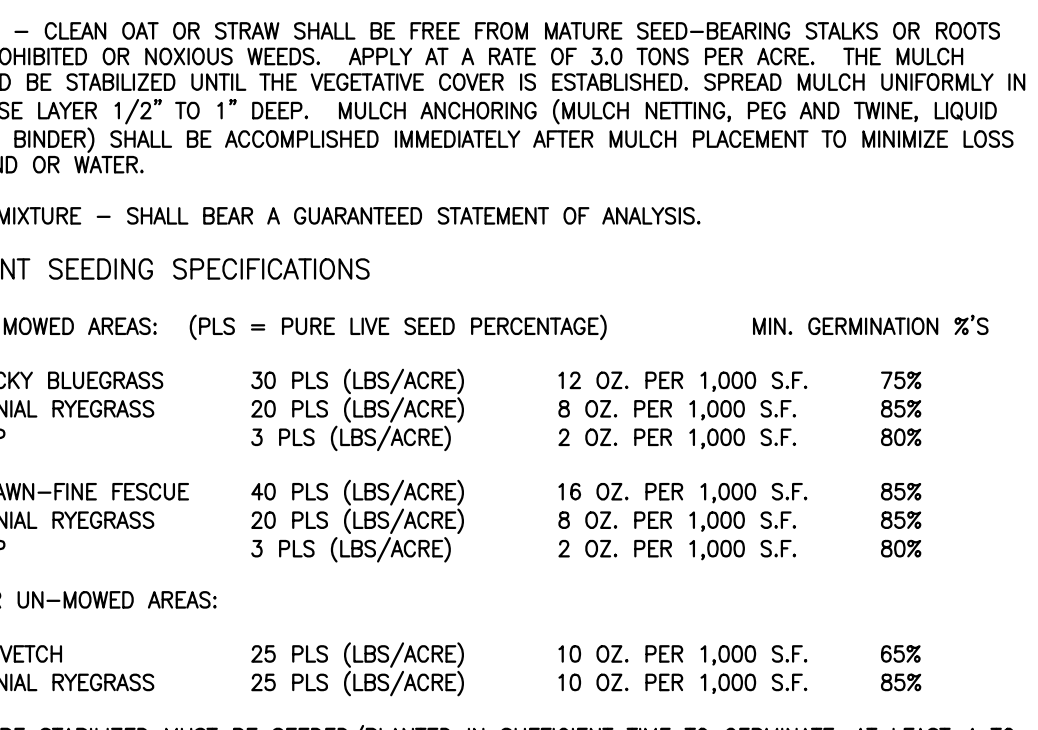
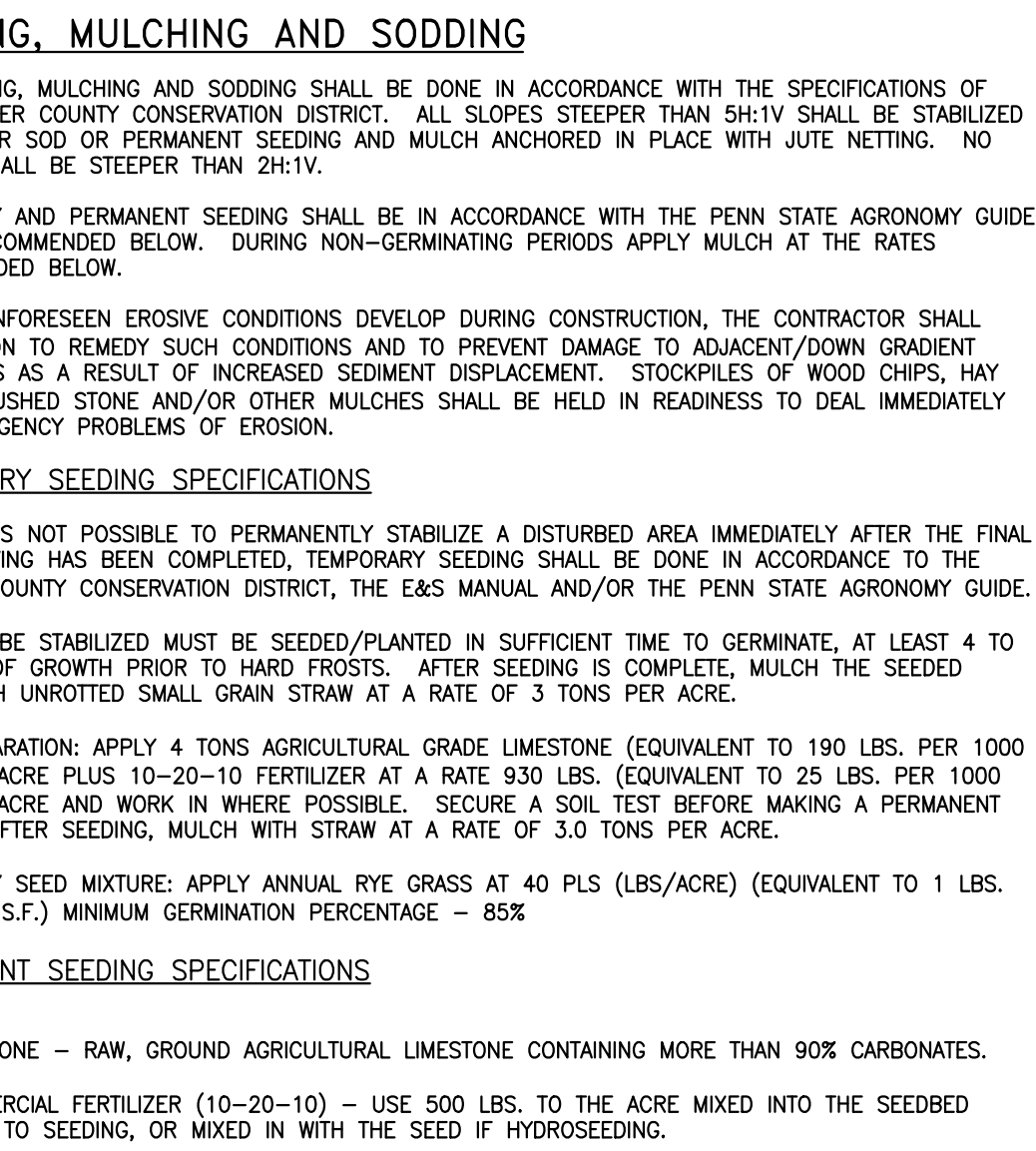
** CHAIN LINK TO POST FASTENERS SPACED @ 14" MAX. USE NO. 6 GA. ALUMINUM WIRE OR NO. 9 GALVANIZED STEEL PRE-FORMED CLIPS. CHAIN LINK TO TENSION WIRE FASTENERS SPACED @ 60" MAX. USE NO. 10 GA. GALVANIZED STEEL WIRE. FABRIC TO CHAIN FASTENERS SPACED @ 24" MAX. C TO C.

NO. 7 GA. TENSION WIRE INSTALLED HORIZONTALLY AT TOP AND BOTTOM OF CHAIN-LINK FENCE.

FILTER FABRIC FENCE MUST BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.

SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.

STANDARD CONSTRUCTION DETAIL #22
SUPER FILTER FABRIC FENCE
 NOT TO SCALE



| DIMENSIONS - IN | | | | | | |
|-----------------|----|-----|------|-------------|---------------|--|
| SIGN SIZE | B | C | D | BOH- LER | BLANK SIGN | |
| 2' x 5' | 6 | 6C | 8 | 0.4 | ---- | |
| 18" x 18" | 6 | 6C | 8 | 0.4 | ---- | |
| 24" x 24" | 8 | 8C | 10 | 0.6 | B1-24 | |
| 30" x 30" | 10 | 10C | 12.6 | 0.8 | B1-30 | |
| 36" x 36" | 12 | 12C | 15 | 0.8 | B1-36 | |
| 48" x 48" | 16 | 16C | 20 | 1.2 | B1-48 | |

COLOR:

= REDUCE SPACING 40%

LEGEND AND BORDER:

WHITE (REFLECTORIZED)

RED (REFLECTORIZED)

APPROVED FOR THE SECRETARY OF TRANSPORTATION

By: J. C. CROW

for: Traffic Engineering and Transit Section
(Bureau of Maintenance and Operations)

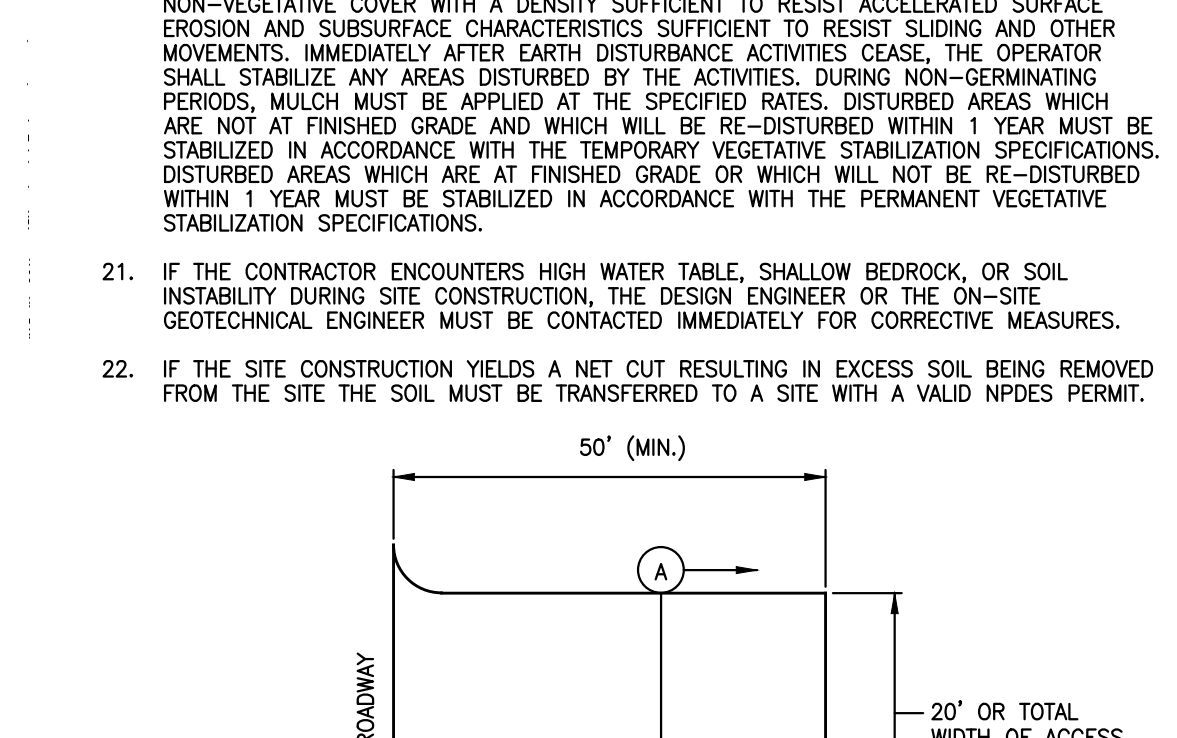
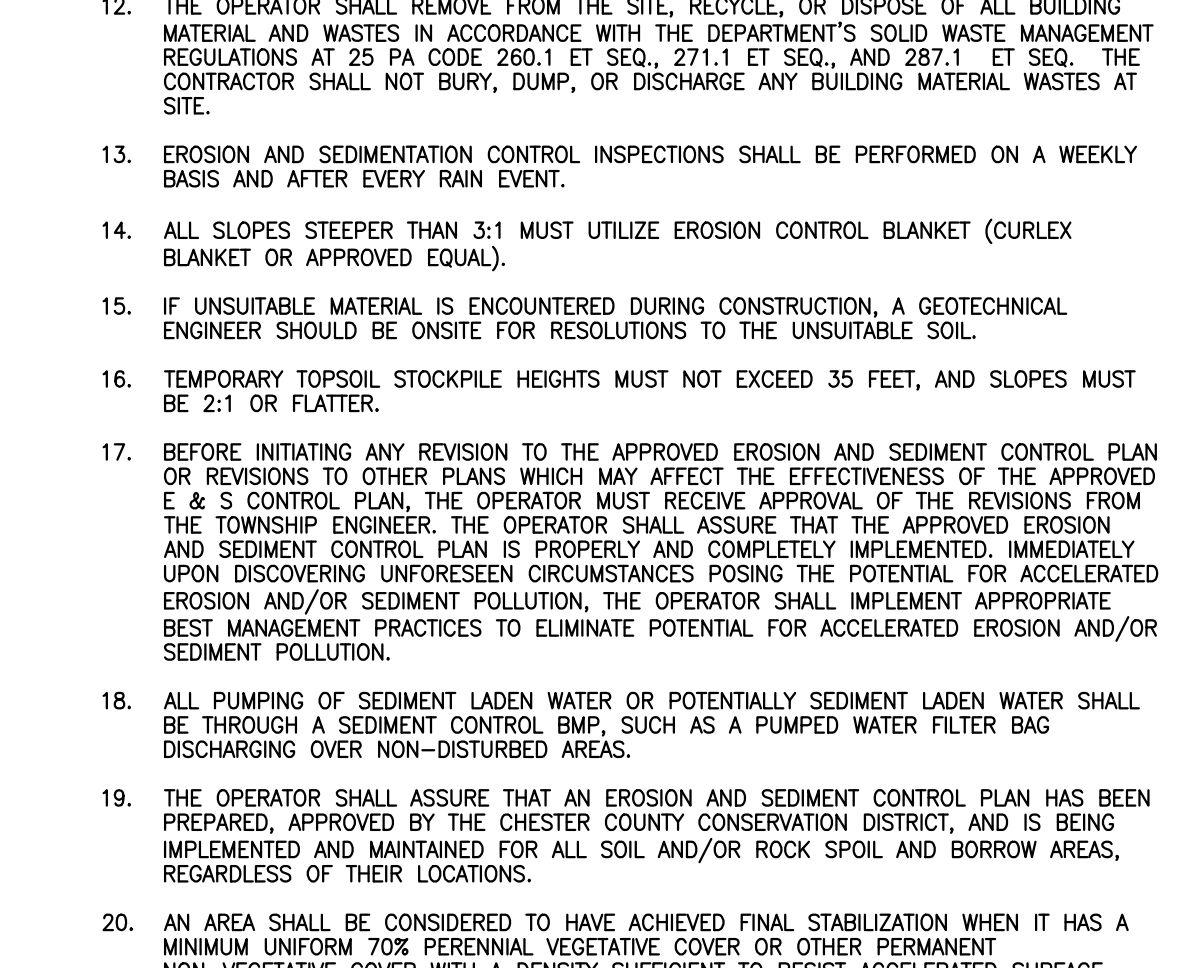
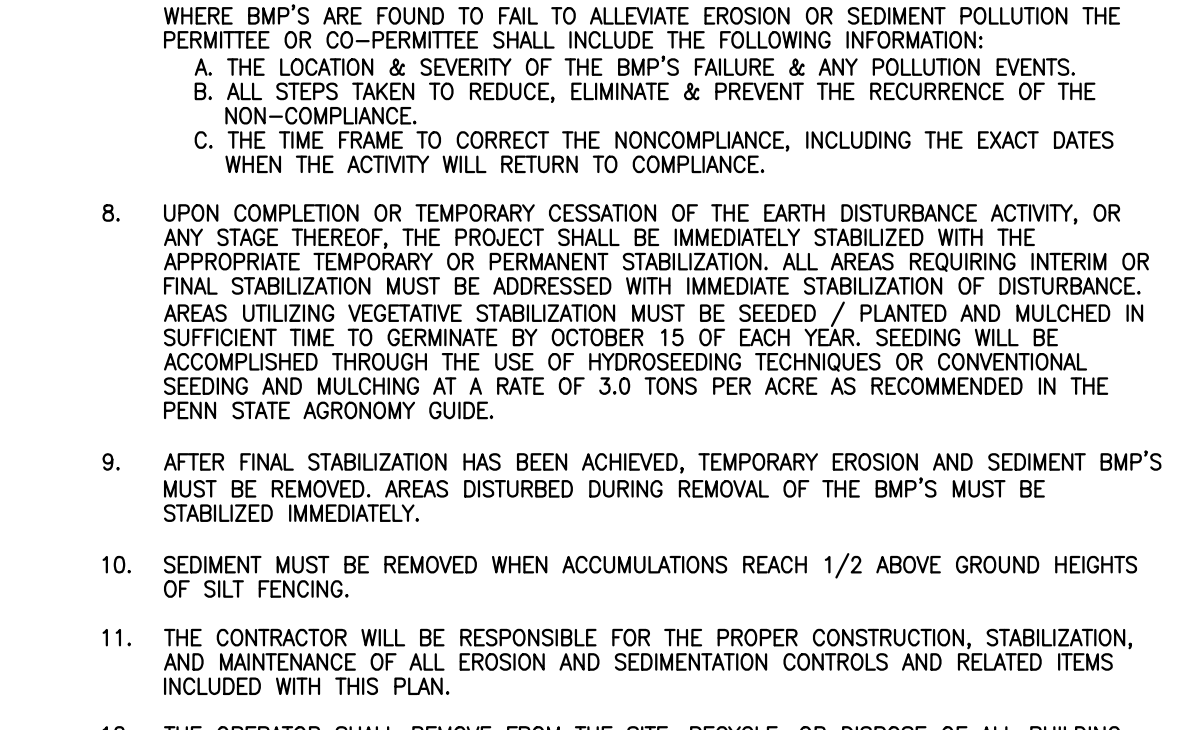
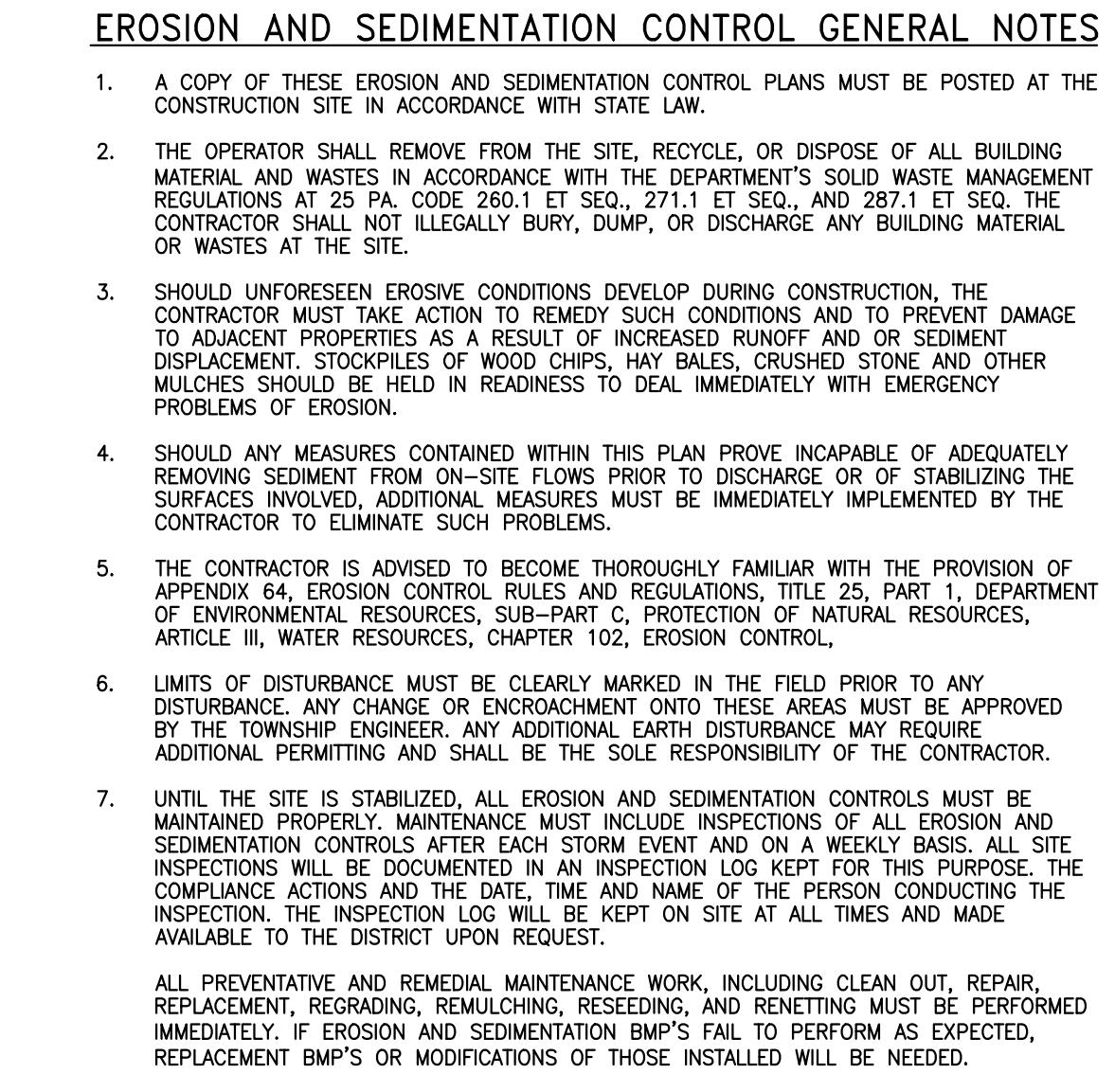
6.1.88

(S-1) STOP SIGN DETAIL

SCALE: NOT TO SCALE

NOTE:

PROPOSED STOP SIGN SHALL BE 30" x 30" IN SIZE. REFER TO
ABOVE TABLE FOR FURTHER INFORMATION.



PLAN VIEW

AASHTO #1 STONE

C = 8 IN.

SECTION A-A

GEOTEXTILE

MAINTENANCE

DEPTH OF ACCESS

STANDARD CONSTRUCTION DETAIL #16
ROCK CONSTRUCTION ENTRANCE
 NOT TO SCALE

DLHowell

Civil Engineering
Land Planning
Environmental

www.DLHowell.com

1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| 0 | 7 | 1 |
| 1 | 8 | 2 |
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| 3 | 10 | 4 |
| 4 | 11 | 5 |
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| 10 | 5 | 11 |
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| 60 | 7 | 61 |
| 61 | 8 | 62 |
| 62 | 9 | 63 |
| 63 | 10 | |



1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003

| | |
|------|-------------------------------------|
| 8 | |
| 7 | |
| 6 | |
| 5 | |
| 4 | |
| 3 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 2 | 08/04/23 |
| 1 | 06/01/23 |
| REV. | DATE |
| | DESCRIPTION |

| | |
|--------------|-------------------|
| DATE: | 12/21/20 |
| SCALE: | 1"=20' |
| DRAWN BY: | AM |
| CHECKED BY: | DWG |
| PROJECT NO.: | 2146 |
| CAD FILE: | 08 PCSWM PLAN.dwg |
| PLOTTED: | 09/28/23 |
| DRAWING NO.: | C07.01 |
| SHEET | 09 OF 13 |

THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.

ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE RECURRENCE OF THE NON-COMPLIANCE.

THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

1. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO PREVENT EROSION, SLIDING AND OTHER MOVEMENTS. IMMEDIATELY AFTER STABILIZATION, THE CONTRACTOR SHALL MAINTAIN THE STABILIZED AREAS DISTURBED BY THE ACTIVITIES, DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT STABILIZED WITHIN THE SPECIFIED TIME FRAME, WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT THE END OF THE ROAD, WHICH WILL NOT BE RE-ENTRUSTED WITHIN, MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
2. IF THE CONTRACTOR ENCOUNTERS HIGH WATER TABLE, SHALLOW BEDROCK, OR OTHER OBSTACLES, THE CONTRACTOR SHALL CONSULT WITH THE DESIGN ENGINEER OR THE ON-SITE GEOTECHNICAL ENGINEER MUST BE CONTACTED IMMEDIATELY FOR CORRECTIVE MEASURES.
3. IF GROUNDWATER OR BEDROCK IS ENCOUNTERED DURING THE INSTALLATION OF THE BMP'S STOP WORK AND CONTACT THE TOWNSHIP AND DESIGN ENGINEER FOR AN ALTERNATE STORMWATER BMP LOCATION OR NEW DESIGN.
4. THE EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN DESIGNED IN ORDER TO MINIMIZE EROSION AND DURATION OF THE CONSTRUCTION DISTURBANCE, WHILE PROTECTING THE EXISTING DRAINAGE FEATURES AND MAINTAINING THE E&S PLAN AND CONSTRUCTION SEQUENCE. IT HAS BEEN DEVELOPED AS TO MINIMIZE SOIL COMPACTION WITHIN, CLEARING, AND IMPROVED AREAS.
5. THE DESIGN WILL PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE STREAMS AND RIVERS.
6. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. 267.1-1. AND 267.1-2 AND 267.1-3. THE CONTRACTOR SHALL REMOVE ALL ILLEGAL DUMP, OR DISCHARGE ANY BUILDING MATERIALS OR WASTES AT THE SITE.
7. IF ANY UNFAVORABLE CONDITIONS ARE ENCOUNTERED DURING THE INSTALLATION OF THE BMP'S (I.E. GROUNDWATER AND/OR BEDROCK, ETC.), THE OWNER/ENGINEER SHOULD BE NOTIFIED AND THE PROPOSED SYSTEM SHOULD BE RELOCATED. MORE SUITABLE LOCATION ON THE PROPERTY.
8. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER, OR IMPAIR THE EFFECTIVENESS OF ANY STORMWATER BMP'S, CONVEYANCES, FACILITIES, AREAS OR STRUCTURES UNLESS THE ACTIVITY IS PART OF AN APPROVED BMP MAINTENANCE PROGRAM WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
9. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS ON, IN, OR OVER ANY STORMWATER BMP OR CONVEYANCE. NO PERSON SHALL WASTE, LITTER, OR PLACE ANY OTHER WASTE OR DEBRIS WHICH WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
10. AN AS-BUILT SURVEY OF ALL STORMWATER BMP'S AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE OPERATION AND MAINTENANCE PLAN SHALL BE PROVIDED TO UPPER MERICA TOWNSHIP.
11. REPRESENTATIVES OF UPPER MERICA TOWNSHIP OR OTHER GOVERNMENTAL AGENCIES SHALL HAVE ACCESS TO THE STORMWATER MANAGEMENT FACILITIES THROUGH A BLANKET EASEMENT OVER THE PROPERTY FOR PERIODIC INSPECTIONS, MAINTENANCE AND REPAIRS OF THE BMP'S AS NECESSARY.

MAINTENANCE: DURING THE REGULAR INSPECTIONS AT THE INTERVAL NOTED ABOVE, THE OWNER SHALL REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS FROM THE IN-PIPE UNJUNC PIPE CONNECTIONS, NESSAND REPAIR ANY DAMAGED PIPING. SIGNIFICANT SETTLEMENT HAS OCCURRED AND THE COLLECTED RUNOFF DOES NOT DEWATER. CONSULT THE TOWNSHIP AND THE ENGINEER OF RECORD FOR APPROPRIATE RENOVATION MEASURES. ANY ISSUES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE TOWNSHIP ENGINEER WITH APPROPRIATE REMEDIATION BEING IMPLEMENTED WITHIN 60 DAYS.

1. COMPACTION IS TO BE MINIMIZED IN THE AREAS DESIGNATED FOR THE UNDERGROUND SYSTEM.
2. BED FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT THROUGHOUT INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL/SEDIMENT HAS ENTERED THE BED, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, ETC. AND OR REPLACEMENT OF BED FILTER FABRIC AND STONE) SHOULD BE TAKEN.
3. ALL STONE FOR THE CONSTRUCTION OF THE INFILTRATION BED SHOULD BE UNIFORMLY GRADED AND CLEAN WASHED AGGREGATE.
4. THE BOTTOM OF THE BED SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE.
5. THE BOTTOM OF THE BED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF BED FILTER FABRIC.

GeB2 - GLENELG CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED
GnB2 - GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED
UzdB - URBAN LAND-UDORTHENTS, SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES

UNNAMED TRIBUTARY (UNT) TO PICKERING CREEK IN THE PICKERING CREEK WATERSHED: A HIGH QUALITY-TROUT STOCKING FISHERY (HQ-TSF) WATER COURSE

BUCKEYE PIPELINE COMPANY
COMCAST CABLE COMMUNICATIONS, INC.
PECO ENERGY
VERIZON PENNSYLVANIA, INC.
UPPER UWCHLAN TOWNSHIP
UPPER UWCHLAN MUNICIPAL AUTHORITY

| | | | | | |
|---|---------------------|----------|----------------------|------|------------------|
| — | EX. PROPERTY LINE | 242 | EXISTING CONTOUR | ☐ | PROP. LIGHT PO |
| — | PROP. PROPERTY LINE | 242 | PROPOSED CONTOUR | — | EX. FENCE |
| — | EX. RIGHT-OF-WAY | X 123.00 | EXISTING SPOT ELEV. | M81 | EX. MAIL BOX |
| — | PROP. RIGHT-OF-WAY | X 123.00 | NEW SPOT ELEV. | + | EX. SIGN |
| — | EX. MONUMENT | GEb2 | SOILS TYPE | — | PROP. SIGN |
| ■ | PROP. MONUMENT | | SOILS LINE | ② | EXIST. PARKING |
| □ | EX. IRON PIPE | | EX. CONC. CURB | (TB) | PROP. PARKING |
| ● | PROP. IRON PIPE | | PROP. CONC. CURB | | TO BE REMOVED |
| — | EX. EASEMENT | | EX. EDGE OF PAVING | — | EX. TELE. LINE |
| — | PROP. EASEMENT | | PROP. EDGE OF PAVING | T | PROP. TELE. LINE |
| — | EX. WETLANDS | □ | EX. LIGHT POLE | E | EX. ELEC. LINE |

PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE-STOP CALL

Pennsylvania One Call System, Inc.

1-800-242-1776

ONE CALL NOTE
NO SCALE



REFERENCE THE STORMWATER MANAGEMENT REPORT PREPARED FOR 164 BYERS ROAD, AS PREPARED BY DL HOWELL DATED DECEMBER 21, 2020 AND LAST REVISED SEPTEMBER 14, 2021, FOR STORMWATER MANAGEMENT CALCULATIONS ASSOCIATED WITH THIS PROJECT. PLEASE NOTE THAT THE STORMWATER MANAGEMENT FACILITY HAS BEEN DESIGNED FOR THE TOTAL IMPERVIOUS COVERAGE PROPOSED ON THIS PLAN.

[illegible]

I, DAVID W. GIBBONS, ON THIS DATE 10/05/23, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE UPPER UWCHLAN TOWNSHIP ORDINANCE NO. 2013-05, STORMWATER MANAGEMENT ORDINANCE.


DAVID W. GIBBONS, P.E.

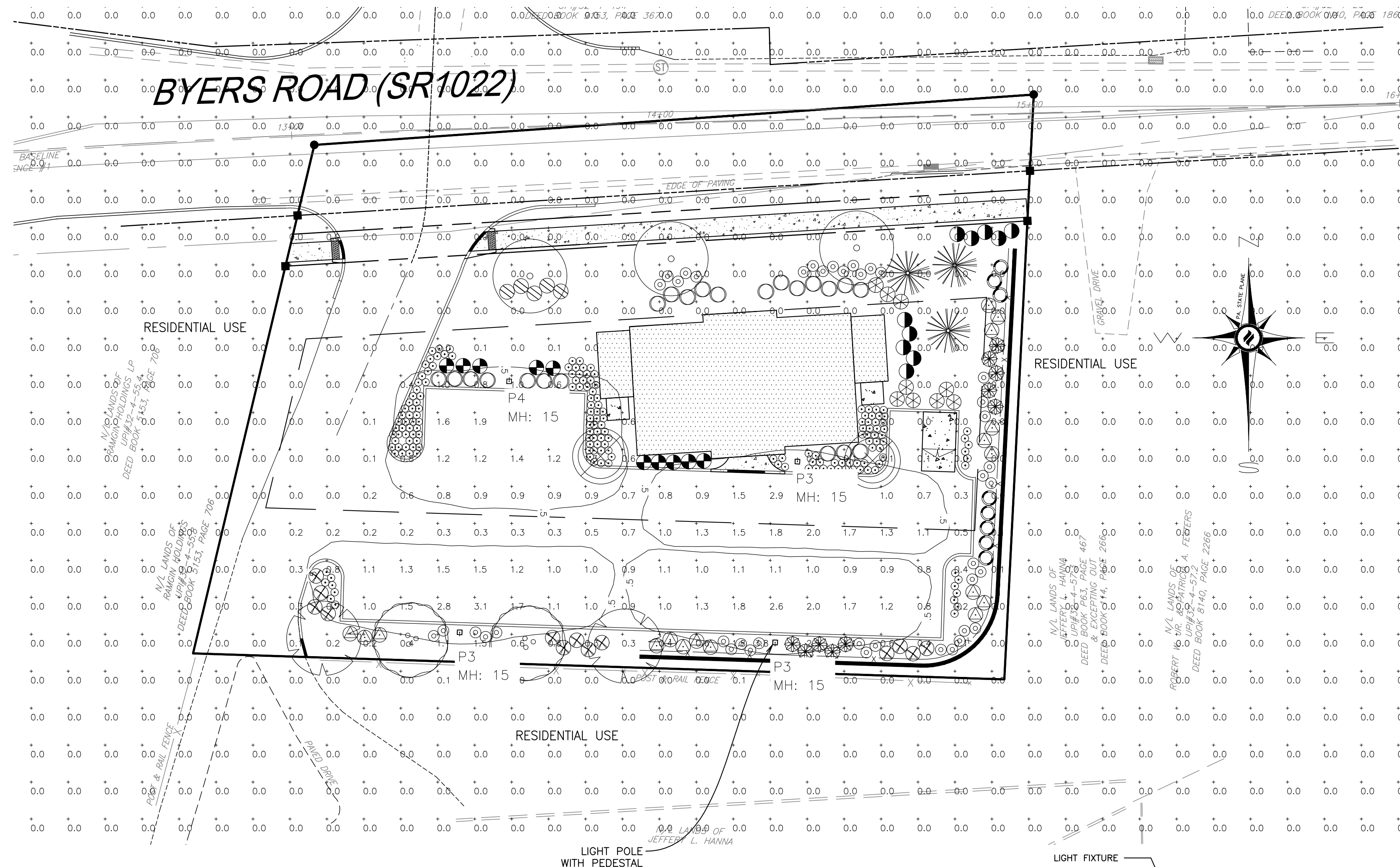
LICENSE NUMBER PE 07644.

I HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY THE CONSERVATION DISTRICT OF THE MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

I _____ (PROPERTY OWNER), ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT BMP's ARE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY UPPER UWCHLAN TOWNSHIP.

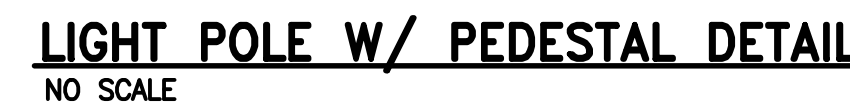
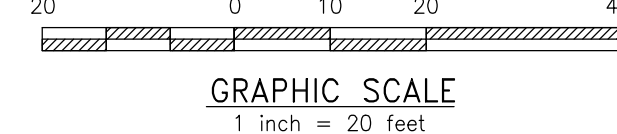
(SIGNATURE) (DATE)

| Calculation Summary | | | | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|---------|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min | Grid Z | PtSpcLr | PtSpcTb |
| East Vertical Calc | Illuminance | Fc | 0.01 | 0.0 | 0.0 | N.A. | N.A. | 0 to 10 | 5 | 5 |
| South Vertical Calc | Illuminance | Fc | 0.03 | 0.1 | 0.0 | N.A. | N.A. | 0 to 10 | 5 | 5 |
| West Vertical Calc | Illuminance | Fc | 0.01 | 0.0 | 0.0 | N.A. | N.A. | 10 to 0 | 5 | 5 |
| Parking Lot | Illuminance | Fc | 1.21 | 3.7 | 0.2 | 6.05 | 18.50 | | | |



SCALE: 1"=20'

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|-----|---------------------|------|--------|----------------------|-------|-----------------------|-----------|------------------------|----|--------------------------|
| --- | EX. PROPERTY LINE | --- | 242 | EXISTING CONTOUR | □ | PROP. LIGHT POLE | —E | PROP. ELEC. LINE | | PROP. STORM INLET |
| --- | PROP. PROPERTY LINE | --- | 242 | PROPOSED CONTOUR | —X | EX. FENCE | —E | EX. UTILITY POLE | | PROP. STORM INLET ID |
| --- | EX. RIGHT-OF-WAY | X | 123.00 | EXISTING SPOT ELEV. | MH | EX. MAIL BOX | —O | PROP. UTILITY POLE | | |
| --- | PROP. RIGHT-OF-WAY | X | 623.00 | NEW SPOT ELEV. | — | EX. SIGN | —O | EX. GUY ANCHOR | | PROP. SEEPAGE BED |
| □ | EX. MONUMENT | GEB2 | | SOILS TYPE | — | PROP. SIGN | —G | EX. GAS LINE | | |
| ■ | PROP. MONUMENT | | | SOILS LINE | ④ | EXIST. PARKING SPACES | —G | PROP. GAS LINE | —S | EX. SANITARY SEWER LINE |
| — | EX. IRON PIPE | | | EX. CONC. CURB | ④ | PROP. PARKING SPACES | EX. VALVE | EX. GAS VALVE | —S | PROP. SAN. SEWER LINE |
| ● | PROP. IRON PIPE | | | PROP. CONC. CURB | (TBR) | TO BE REMOVED | EX. VALVE | PROP. GAS VALVE | —L | PROP. SAN. SEWER LATERAL |
| — | EX. EASEMENT | | | EX. EDGE OF PAVING | — | EX. TELE. LINE | --- | EX. STORM SEWER LINE | MH | PROP. SANITARY MH. ID |
| — | PROP. EASEMENT | | | PROP. EDGE OF PAVING | —T | PROP. TELE. LINE | --- | PROP. STORM SEWER LINE | W | EX. WATER LINE |
| W | EX. WETLANDS | | | EX. FILL | —E | EX. FENCE LINE | --- | EX. STORM INLET | | |

1. POST APPROVAL, ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
2. THE TOWNSHIP RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION NIGHTTIME INSPECTIONS TO VERIFY COMPLIANCE WITH COMMITMENTS MADE ON THE APPROVED PLAN, AND IF APPROPRIATE, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE TOWNSHIP.
3. NON-SECURITY LIGHTING FIXTURES SHALL BE EXTINGUISHED ONE HOUR AFTER CLOSE OF BUSINESS OR 11:00 P.M., WHICHEVER IS EARLIER. THE LIGHTING FIXTURES WILL BE CONTROLLED BY PHOTOCELL AND TIMER.
4. SECURITY LIGHTING LIGHT LEVELS ARE TO BE REDUCED TO 25% BETWEEN 11:00 P.M. AND DAWN. HOWEVER, AT THIS TIME, NO SECURITY LIGHTING IS PROPOSED.
5. A PROGRAMMABLE TIMER WITH DAYLIGHT SAVINGS TIME PROGRAMMABILITY, WITH BATTERY BACK-UP, SHALL BE UTILIZED TO AUTOMATICALLY CONTROL THE NON-SECURITY LIGHTS.
6. ALL EXTERIOR LIGHTING, INCLUDING BUT NOT LIMITED TO THAT FOR THE ORIENTATION OF WALKWAY, SORTIE CANOPY, SIGN, FACED BUILDING ENTRANCE, AND FLAGPOLE SHALL COMPLY WITH SUDO SECTION 162.58.D..
7. ALL LIGHT POLES ADJACENT TO PARKING AREAS AND/OR DRIVEWAYS SHALL BE INSTALLED THREE (3) FEET FROM THE BACK OF THE CURB.



Civil Engineering
Land Planning
Environmental
www.DLHowell.com

1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003

| | | |
|---|----------|-------------------------------------|
| | REEL | DRAWING |
| 7 | | |
| 6 | | |
| 5 | | |
| 4 | | |
| 3 | 08/29/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 2 | 08/04/23 | REVISED PER TOWNSHIP REVIEW LETTERS |
| 1 | 06/01/23 | REVISED PER TOWNSHIP REVIEW LETTERS |

PRELIMINARY / FINAL
LIGHTING PLAN

PROJECT: BYERS ROAD PROPERTY
LOCATION: 164 BYERS ROAD
UPPER UWHCLAN TOWNS

| | |
|--------------|----------------------|
| DATE: | 12/21/20 |
| SCALE: | 1"=20' |
| DRAWN BY: | AM |
| CHECKED BY: | DWG |
| PROJECT NO.: | 2146 |
| AD FILE: | 09 LIGHTING PLAN.dwg |
| NOTED: | 09/28/23 |
| DRAWING NO.: | C08.01 |
| SHEET | 10 OF 13 |



10/10

[illegible]

PRELIMINARY/FINAL

LIGHTING SPECIFICATIONS PLAN

CLIENT: QBD VENTURES

PROJECT: BYERS ROAD PROPERTY

LOCATION: 164 BYERS ROAD

UPPER UWHIGLAN TOWNSHIP, CHESTER COUNTY,

| | |
|--------------|----------------------|
| DATE: | 12/21/20 |
| SCALE: | AS SHOWN |
| DRAWN BY: | AM |
| CHECKED BY: | DWG |
| PROJECT NO.: | 2146 |
| CAD FILE: | 09 LIGHTING PLAN.dwg |
| PLOTTED: | 09/28/23 |
| DRAWING NO.: | C08.02 |
| SHEET | 11 OF 13 |

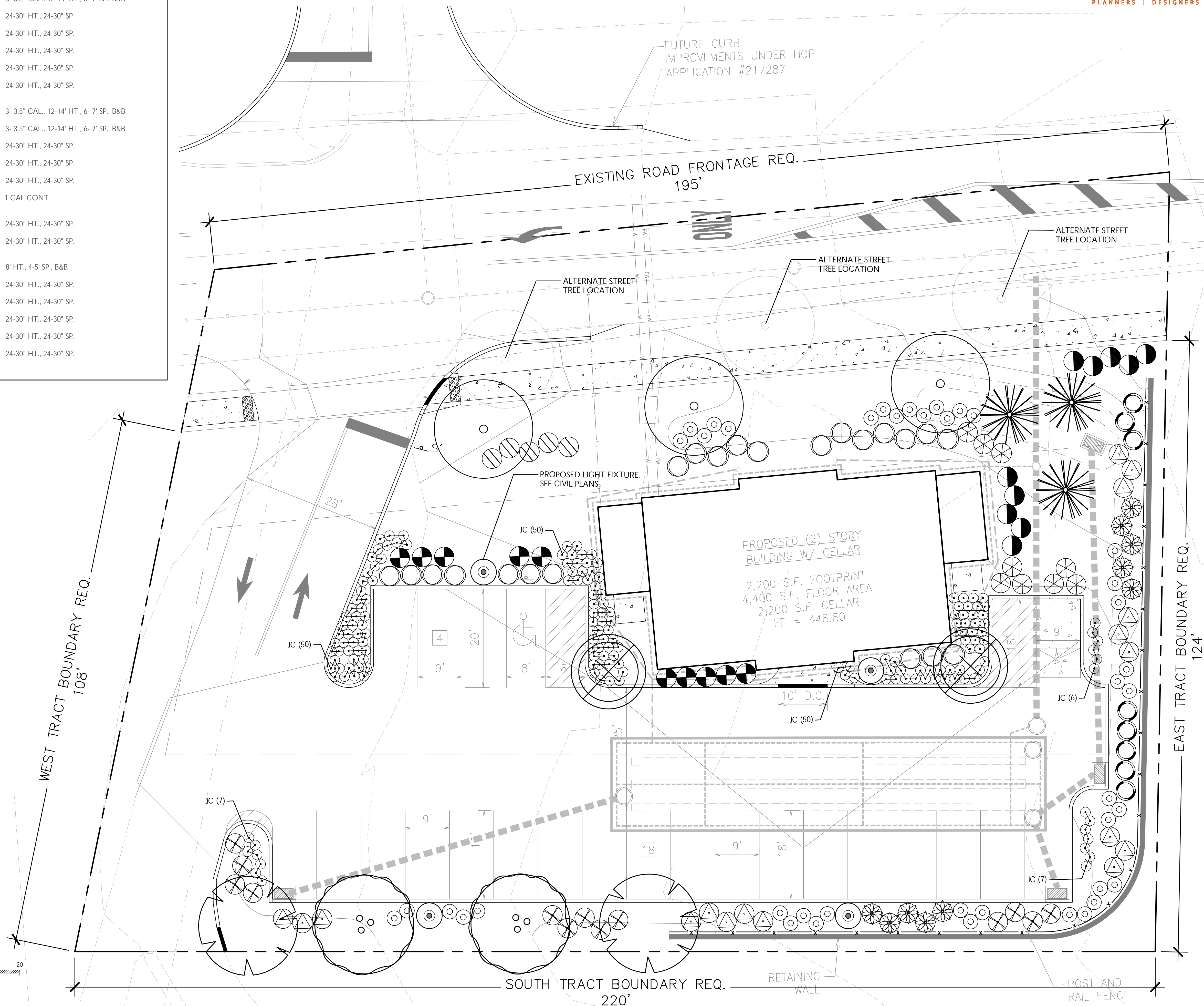
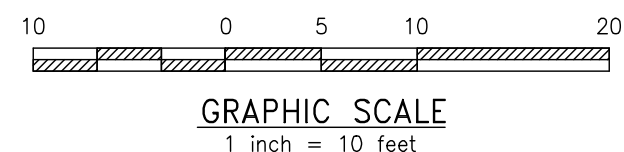
| QTY | SYMBOL | SCIENTIFIC NAME | COMMON NAME | SIZE | NOTES |
|---|--------|--|------------------------------------|---|-------|
| SECTION 162-57, LANDSCAPE DESIGN STANDARDS (SALDO) | | | | | |
| (LANDSCAPE DESIGN STANDARDS) | | | | | |
| STREET TREES | | | | | |
| 3 | | <i>QUERCUS PALUSTRIS</i> | PIN OAK | 3- 3.5" CAL., 14- 16' HT., SPACING AS SHOWN | |
| | | (PLEASE NOTE ALTERNATE LOCATION) | | | |
| (MINIMUM PLANTING STANDARDS) | | | | | |
| BUILDING AREA LANDSCAPING | | | | | |
| 2 | | <i>PRUNUS SUBHIRTELLA 'AUTUMNALIS'</i> | AUTUMN FLOWERING CHERRY | 3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B | |
| 5 | | <i>ILEX VERTICILLATA</i> | WINTERBERRY HOLLY | 24-30" HT., 24-30" SP. | |
| 3 | | <i>CLETHRA ALNIFOLIA 'HUMMINGBIRD'</i> | HUMMINGBIRD SUMMERSWEET | 24-30" HT., 24-30" SP. | |
| 5 | | <i>CEPHALOTAXUS HARRINGTONIA</i> | JAPANESE PLUM YEW | 24-30" HT., 24-30" SP. | |
| 14 | | <i>HYPERICUM CALYGINUM 'SUNBURST'</i> | ST. JOHNS WORT | 24-30" HT., 24-30" SP. | |
| 15 | | <i>ILEX GLABRA 'SHAMROCK'</i> | DWARF SHAMROCK INKBERRY | 24-30" HT., 24-30" SP. | |
| PARKING & LOADING AREA LANDSCAPING, & PARKING LOT SCREEN & QUERCUS PHELLOS | | | | | |
| 3 | | <i>QUERCUS PHELLOS</i> | INTERIOR SHADE TREES WILLOW OAK | 3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B. | |
| 2 | | <i>TILIA CORDATA 'GREENSPIRE'</i> | GREENSPIRE LINDEN | 3- 3.5" CAL., 12-14' HT., 6- 7' SP., B&B. | |
| 6 | | <i>CLETHRA ALNIFOLIA 'HUMMINGBIRD'</i> | HUMMINGBIRD SUMMERSWEET | 24-30" HT., 24-30" SP. | |
| 5 | | <i>CEPHALOTAXUS HARRINGTONIA</i> | JAPANESE PLUM YEW | 24-30" HT., 24-30" SP. | |
| 7 | | <i>ILEX GLABRA 'SHAMROCK'</i> | DWARF SHAMROCK INKBERRY | 24-30" HT., 24-30" SP. | |
| 169 | | <i>JUNIPERUS CONFERTA</i> | SHORE JUNIPER | 1 GAL. CONT. | |
| EXISTING ROAD FRONTAGE REQUIREMENT | | | | | |
| 5 | | <i>ILEX x MESERVEAE 'CHINA GIRL'</i> | CHINA GIRL HOLLY | 24-30" HT., 24-30" SP. | |
| 5 | | <i>ILEX VERTICILLATA</i> | WINTERBERRY HOLLY | 24-30" HT., 24-30" SP. | |
| TRACT BOUNDARY REQUIREMENT | | | | | |
| 3 | | <i>CRYPTOMERIA JAPONICA 'RADICANS'</i> | JAPANESE CEDAR | 8' HT., 4-5' SP., B&B | |
| 8 | | <i>CORNUS SERICEA</i> | RED TWIG DOGWOOD | 24-30" HT., 24-30" SP. | |
| 27 | | <i>HYPERICUM CALYGINUM 'SUNBURST'</i> | ST. JOHNS WORT | 24-30" HT., 24-30" SP. | |
| 10 | | <i>ITEA VIRGINICA 'LITTLE HENRY'</i> | LITTLE HENRY SWEETSPICE | 24-30" HT., 24-30" SP. | |
| 13 | | <i>MYRICA PENNSYLVANICA</i> | NORTHERN BAYBERRY | 24-30" HT., 24-30" SP. | |
| 17 | | <i>VIBURNUM TRILOBUM 'COMPACTUM'</i> | COMPACT AMERICAN CRANBERRYBUSH | 24-30" HT., 24-30" SP. | |
| 10,000 SF. | | SEEDED LAWN AREA | | | |

LEGEND



1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN TO BE USED FOR LANDSCAPING AND SITE IMPROVEMENT PURPOSED ONLY.
3. PLANS CREATED FROM DRAWINGS FROM D.L. HOWELL & ASSOCIATES, INC. ENGINEERING DATED, 02/16/2023.
4. LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING TREES AND PLANT MATERIAL WITHIN THE AREA OF PROPOSED IMPROVEMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS OFF-SITE, CLEAN-UP OF ALL PAVED AREAS (ROADWAYS, SIDEWALKS, ETC.) AND RESTORATION OF ALL DISTURBED LAWN AREAS.
7. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES DAMAGED.
8. CONTRACTOR SHALL PROVIDE SCREENED PLANTING SOIL WHERE PLANTING IS TO OCCUR. 36" DEPTH, 6" DEPTH AT LAWN AREAS.
9. FOLLOWING COMPLETION OF ALL PLANTING INSTALLATION WORK, THE CONTRACTOR SHALL BE REQUIRED TO RESTORE ALL DISTURBED LAWN AREAS.
10. NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM AN UNDERGROUND UTILITY.
11. ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS SHOWN OTHERWISE.
12. VERIFY LAYOUT OF ALL PROPOSED WORK TO EXISTING CONDITIONS. REPORT DISCREPANCIES BEFORE ANY CLEARING OR EXCAVATION IS DONE.
13. PROVIDE STAKED LAYOUT ON SITE FOR OWNER AND LANDSCAPE ARCHITECT'S REVIEW PRIOR TO COMMENCING WORK.
14. ALL DIMENSIONS SHOWN ARE TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
15. PLEASE NOTE, CLIENT DID NOT RETAIN STUART AND ASSOCIATES, LLC. TO PROVIDE LONG TERM MAINTENANCE SPECIFICATIONS FOR THE LANDSCAPE MATERIAL.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PA ONE CALL AND LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY DIGGING OR PLANT REMOVAL OCCURS.
17. CONTRACTOR SHALL INSTALL SILT FENCE IN ANY AREAS WHERE SOIL MAY RUN OFF INTO PARKING AREAS OR INTO EXISTING INLETS.
18. FOLLOWING THE COMPLETION, THE EXISTING VEGETATION WILL BE INSPECTED FOR HEALTH AND QUALITY, AND IF NOT DEEMED IN GOOD CONDITION, REPLACED WITH THE EQUIVALENT COMPENSATORY PLANTINGS.
19. V.I.F. = VERIFY IN FIELD.

1. SEE PLANTING SCHEDULES AND CHARTS L9.00



DLHowell

Civil Engineering
Land Planning
Environmental
www.DLHowell.com

1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003



| | | |
|------|------------|-------------------------------|
| 8 | | |
| 7 | | |
| 6 | | |
| 5 | | |
| 4 | 09/28/2023 | REVISED PER TMP COMMENTS |
| 3 | 06/04/2023 | REVISED PER TMP REVIEW LETTER |
| 2 | 03/03/2023 | REVISED PER TMP REVIEW LETTER |
| 1 | 09/17/2023 | REVISED PER TMP REVIEW LETTER |
| REV. | DATE | DESCRIPTION |

PRELIMINARY
LANDSCAPE PLAN

CLIENT: QBD VENTURES
PROJECT: BYERS ROAD PROPERTY
LOCATION: 164 BYERS ROAD, UPPER UMWCHLAN TOWNSHIP
CHESTER COUNTY, PA

| | |
|--------------|----------------------|
| DATE: | 12/21/2021 |
| SCALE: | 1" = 10' |
| DRAWN BY: | KKM |
| CHECKED BY: | PJS |
| PROJECT NO.: | 2146 |
| CAD FILE: | 000 VENTURES ILL.DWG |
| PLOTTED: | 09/28/2023 |
| DRAWING NO.: | C09.01 |
| SHEET | 12 OF 13 |



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

September 11, 2023

E-MAIL ONLY

File No. 09-07021T

Mr. Tony Scheivert
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: QBD Ventures
Preliminary/Final Land Development Plan
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents:

- Response Letter from DL Howell dated August 4, 2023.
- Plan set consisting of thirteen (13) sheets titled "QBD Ventures" prepared by D.L. Howell & Associates, Inc. (Howell), dated December 21, 2020, last revised August 4, 2023.

G&A, as well as the other Township Consultants have completed our third review of the above referenced Preliminary/Final Land Development Application for compliance with the applicable sections of the Township's Zoning Ordinance, Stormwater Management Ordinance, and Subdivision and Land Development Ordinance, and wish to submit the following comments for your consideration. The project did receive Final Land Development Approval in August 2010; however, that approval has expired.

Please note that comments with a **(RW)** denotes a requested waiver and may require relief from the Township Ordinances. Comments in *italics* are from our previous review letter, and comments in **bold text** require resolution by the applicant. Previous comments which have been satisfactorily addressed are not repeated herein.

BUILDING ON A FOUNDATION OF EXCELLENCE

184 W. Main Street | Suite 300 | Trappe, PA 19426
Phone: 610-489-4949 | Fax: 610-489-8447
www.gilmore-assoc.com

Reference: QBD Ventures
Preliminary/Final Land Development Plan
Upper Uwchlan Township, Chester County, PA

File No. 09-07021T
September 11, 2023

I. OVERVIEW

The parcel is approximately 0.7 acres in size and is zoned C-1 (Village Commercial District) and is located approximately 300 feet east of the intersection of Graphite Mine Road and Byers Road. The Applicant is proposing to demolish the existing buildings and construct a 2-story, 4,400 SF office building with and associated parking facilities. The parcel will provide a two-way access via Byers Road. An underground detention basin will be utilized to control the increased runoff from the subject site.

II. ZONING

We have no zoning comments at this time.

III. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW

1. (RW) Section 162-8.B. – *The Applicant has submitted this application as a Preliminary/Final Application. A waiver is required from this section to permit this type of approval.*

The Applicant has requested a waiver to allow this application to be considered a Preliminary/Final Application. We have no objection to this request.

2. (RW) Section 162-32.F - *A waiver is being requested, and was previously granted, to permit a 35' curb radius on the southwest corner of the intersection of the proposed driveway and Byers Road contingent upon Pa-DOT's concurrence. However, as the land development approval has expired, it is being requested again.*

3. (RW) Section 162-55.D.(1) & (2) - *A portion of the southeastern corner of the site contains Glenville Silt Loam, which is classified as a hydric soil and is part of a riparian buffer area. The plans shall indicate this area as a riparian buffer; it is noted that an inlet, a storm pipe, paving, and a portion of the retaining wall are proposed within the riparian buffer. A waiver is being requested, and was previously granted, to permit the construction of a structure in the riparian buffer. However, as the land development approval has expired, it is being requested again.*

Reference: QBD Ventures
Preliminary/Final Land Development Plan
Upper Uwchlan Township, Chester County, PA

File No. 09-07021T
September 11, 2023

4. **(RW)** Section 162-57.6(b) – A partial waiver is being requested to allow a modified Landscape Plan with regard to building façade plantings, parking and loading landscaping, road frontage and tract boundary plantings.

We defer to the Planning Commission as to whether the proposed landscaping is sufficient to serve as an adequate buffer.

IV. STORMWATER MANAGEMENT ORDINANCE REVIEW

1. **(RW)** Section 152-305.A and 152-306.A - A waiver is being requested to not provide the required stormwater runoff volume reduction due to high groundwater levels on the property. The infiltration testing report concluded that an infiltration rate of 0.085 inches per hour should be used for design.

Due to the poor infiltration rates found on the site, we support the granting of this waiver.

2. **(RW)** Section 152-311.D - A waiver is being requested to provide an underdrain that is less than the minimum 18" below the foundation. The underdrain system should be in compliance with this section of the ordinance. The Applicant should verify that the underdrain system will be able to adequately drain and elevations should be provided on the plan which verify the underdrain is a minimum of 18" below the foundation as required under this section.

As proposed, the underdrain will be located approximately 16" below the foundation. We feel the difference between the required separation and that which is provided is de minimis. This coupled with the fact providing the required 18" will not allow for positive drainage away from the building, we support the waiver.

3. Section 152-402.F. – The Applicant shall provide an O&M plan, and agreement.

V. GENERAL COMMENTS

No comments at this time.

Mr. Tony Scheivert
Upper Uwchlan Township Manager

Page - 4 -

Reference: QBD Ventures
Preliminary/Final Land Development Plan
Upper Uwchlan Township, Chester County, PA

File No. 09-07021T
September 11, 2023

**VI. TOWNSHIP TRAFFIC CONSULTANT COMMENTS
(McMAHON ASSOCIATES, INC.)**

Based on our review, all of our previous technical comments have been addressed, and we have no further comments. The following is offered for informational purposes only.

Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and as such, this site is subject to the Township's Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. Based on the Institute of Transportation Engineers publication Trip Generation, 10th Edition, the proposed 4,400 square feet of office space generates five weekday afternoon peak hour trips. Therefore, the number of trips subject to the Township's Transportation Impact fee is five, and the resultant fee is **\$11,670**.

**VII. TOWNSHIP PLANNING CONSULTANT COMMENTS
(BRANDYWINE CONSERVANCY)**

All outstanding comments have been addressed.

**VIII. TOWNSHIP MUNICIPAL AUTHORITY CONSULTANT COMMENTS
(ARRO CONSULTING, INC.)**

1. The current plan currently shows the sanitary sewer mains within Byers Road in the proposed locations, the as-constructed conditions should be reflected on the plans. Additionally, a sanitary sewer lateral has been provided for this property. The proposed private sanitary sewer drain location should be revised accordingly. The as-constructed plan information will be provided to the applicant's engineer.

Mr. Tony Scheivert
Upper Uwchlan Township Manager

Page - 5 -

Reference: QBD Ventures
Preliminary/Final Land Development Plan
Upper Uwchlan Township, Chester County, PA

File No. 09-07021T
September 11, 2023

2. We estimate the anticipated sewer usage to be 225 gallons per day (GPD) or one (1) equivalent dwelling unit (EDU). The required capacity will need to be purchased by the applicant. We recommend the Township reserve the right to review water usage in the future and require the purchase of additional sanitary sewer capacity if warranted.
3. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

This concludes the third review of the above-referenced plan. We would recommend the plans be revised to address the above referenced comments as any comments raised by the Township Planning Commission or Board of Supervisors.

If you have any questions, please do not hesitate to contact me.

Sincerely,

David N. Leh

David N. Leh, P.E.
Vice President
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members
Upper Uwchlan Township Board of Supervisors
Kristin Camp, Esq. – BBM&M LLP (via email only)
Rob Daniels, ASLA, Brandywine Conservancy (Via e-mail only)
Christopher J. Williams, P.E., McMahon Assoc., Inc. (Via e-mail only)
David Schlott, P.E, ARRO Consulting, Inc. (Via e-mail only)
Peter Rogers, Applicant (Via e-mail only)
David Gibbons, P.E., D.L. Howell & Associates (Via e-mail only)

March 4, 2021

Dave Leh, Upper Uwchlan Township Engineer
184 W. Main Street, Suite 300
Trappe, PA 19426

**RE: Preliminary/Final Land Development Plan Application:
QBD Ventures
Waiver Request Letter**

Dear Mr. Leh:

On behalf of the applicant for the above referenced project we are requesting the following waivers from Upper Uwchlan Township Subdivision and Land Development Ordinance.

1. A Waiver is being requested from Section 162-32.F of the Upper Uwchlan Township Subdivision and Land Development Ordinance to allow a curb radius on the southwest corner of the intersection of the proposed driveway be less than the required 35 feet. We have demonstrated that the radii as proposed will accommodate the largest expected delivery vehicle to the property (a UPS-type truck) and the township's emergency vehicles (fire and ambulance). The small size of the lot makes a 35' radii virtually impossible to implement while still retaining a viable sized building and supporting parking, etc. on the lot. The proposed approximate 2,200 SF building footprint is smaller than most new homes being constructed in the township. The proposed radius of 15' on the western side of the entrance is also needed to not encroach on the adjacent property. Please note this radius is in the same general vicinity of the existing driveway. This curb radius is subject to the approval by PennDOT as it is located within the legal right of way of a State Highway.
2. A Waiver is being requested from Section 162-55.D.1 and Section 162-55.D.2 of the Upper Uwchlan Township Subdivision and Land Development Ordinance to allow an inlet, storm pipe, paving and a portion of a retaining wall within an area classified as Riparian Buffer due to it containing hydric soils, in addition to allowing the removal of an existing maple tree within said area. Vegetation management in the buffer, per the code, is not permitted, however this small portion of the south eastern corner of the lot that contains hydric soil per the soil conservation service's soils map and therefore is considered to be in the riparian buffer zone per section 162-55.D.(1) to (2) of the SALDO. Most of this small area has already been covered by a stoned driveway for many years and does not contribute to any ground water recharge, etc. Due to the small size of the lot, and our desire to accommodate the township's request to respect the proposed ultimate ROW for Byers Road (for when Byers Road is to be expanded to a four lane highway as a collector road per the township zoning ordinance), we have had to place a storm water inlet, some storm water piping, paving and a part of a retaining wall in the area previously used as the stoned driveway and we hereby request a waiver from the requirements of these sections of the SALDO.
3. A Waiver is being requested from Section 152-305.A and Section 152-306 of the Upper Uwchlan Township Stormwater Management Ordinance to not provide the required stormwater runoff volume reduction due to high groundwater levels on the property. The soils on-site are not suitable for infiltration and a lined underground pipe storage system is provided in lieu of a typical infiltration BMP to provide for the necessary peak flow reductions also required by the ordinance.

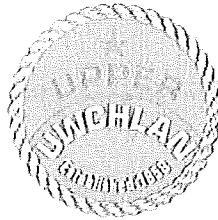
4. A Waiver is being requested from Section 152-311.D of the Upper Uwchlan Township Stormwater Management Ordinance to provide an underdrain that is less than the minimum 18" below the foundation. Based on the surrounding flat topography and the requirement to discharge the underdrain to a location that will provide proper positive flow away from the foundation, it is necessary to set the underdrain less than 18" below the foundation.
5. During the course of the review when the land development previously was proposed, the Township's Consultants had commented that strict compliance with the landscaping requirements contained in the Township's Subdivision and Land Development Ordinance is not possible without resulting in an over-planted site, i.e. No proper visibility into the site, trees being planted too close to other trees, conflicts between trees and lights, and no consistency with the existing tree plantings in Eagle and existing village landscape patterns. Our landscape consultant strongly agrees with this assessment, and therefore we request a Waiver from strict compliance with the SALDO's landscape requirements such that our landscape architect will prepare a landscaping plan that all parties can agree is proper in scale for the subject property even though it will not be in compliance with all of the township's ordinance's landscaping requirements. The ordinance sections where a partial waiver is being requested to not provide full landscaping is Section 162-57.6(b), and Section 162-57 with regard to building façade plantings, parking and loading landscaping, road frontage and tract boundary plantings.

Thank you for consideration of these Waiver Requests.

Sincerely,
D.L. HOWELL & ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read "Dave Gibbons", written in a cursive style.

David W. Gibbons, PE
Senior Engineer



Upper Uwchlan Township

August 31, 2010

Peter Rodgers
QBD Ventures
2800 Horseshoe Trail
Chester Springs, PA 19425

Reference: 164 Byers Road - Land Development Plan
Conditions of Preliminary / Final Land Development Plan Approval

Dear Mr. Rodgers:

This letter corrects a typographical error contained in Condition #5 of my August 25 letter to you regarding the Board's August 16 approval of the above-mentioned Land Development Plan.

The permitted curb radius is 15', as stated below. My apologies for any inconvenience this may have caused.

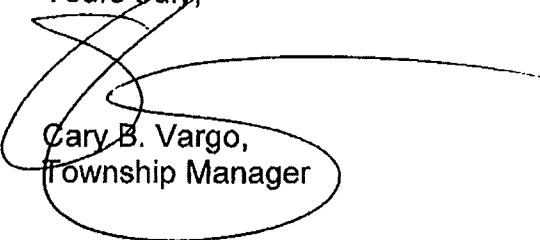
1. The plans shall be revised to comply with Gilmore & Associates, Inc.'s review letter dated August 9, 2010.
2. A waiver from SALDO Section 162-51.H.(4) is hereby granted to permit the building's foundation drain to be set a minimum of 12" below the foundation.
3. A waiver from SALDO Section 162-51.C.(1).(c) is hereby granted regarding stormwater runoff volume reduction.
4. A waiver from SALDO Section 162-55.D.(1) is hereby granted to permit the construction of a structure in alluvial soils.
5. A waiver from SALDO Section 162-32.F. is hereby granted to permit a 15' curb radius on the southwest corner of the intersection of the proposed driveway and Byers Road contingent upon Pa-DOT's concurrence.
6. Sidewalk shall be provided along the property frontage as described in comment number 1 of Brandywine Conservancy's August 6, 2010 review letter. However, a

sidewalk connecting from the building to the sidewalk along the property frontage is not required.

7. The applicant agrees to pay a Traffic Impact Fee in the amount of **\$11,399.36**. The fee shall be paid prior to a Building Permit Being issued.

If you have any questions, please contact this office.

Yours truly,



Cary B. Vargo,
Township Manager

CBV/dnl/gaj

Cc: Board of Supervisors
Al Gaspari, Codes Administrator
Dave Leh, P.E. – Gilmore & Associates
Sheila Fleming, Senior Planner – Brandywine Conservancy
Matt Brown, P.E., DEE – ARRO
Chris Williams, P.E. – McMahon Associates



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

August 9, 2010

File No. 09-07021T

Mr. Cary Vargo
Upper Uwchlan Township Manager
140 Pottstown Pike
Chester Springs, PA 19425

Reference: QDB Ventures
Preliminary/Final Subdivision and Land Development Plan
Upper Uwchlan Township, Chester County, PA

Dear Mr. Vargo:

Gilmore & Associates, Inc. (G&A) is in receipt of a plan prepared by D.L. Howell & Associates, Inc. (Howell) titled, "QBD Ventures," dated September 18, 2009, last revised July 19, 2010 along with a response letter dated July 22, 2010. The subject parcel is located approximately 300 feet east of the intersection of Graphite Mine Road and Byers Road.

G&A, as well as the other Township Consultants, have completed our second review of the above referenced Preliminary/Final Subdivision and Land Development Plan for compliance with the applicable sections of the Township's Zoning Ordinance and Subdivision and Land Development Ordinance, and wish to submit the following comments for your consideration.

I. OVERVIEW

The parcel is approximately 0.7 acres in size and is zoned C-1 (Village Commercial District). The Applicant is proposing to demolish the existing buildings and construct a 2-story, 4,400SF office building and associated parking facilities. The parcel will provide a two-way access via Byers Road. An underground detention basin will be utilized to control the increased runoff from the subject site.

II. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW

1. Section 162-51.H.(4) – *An underdrain system should be designed for the proposed building. The underdrain system should be in compliance with this*

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BUILDING ON A FOUNDATION OF EXCELLENCE

184 W. Main Street, Suite 300 | Trappe, PA 19426

Phone: 610-489-4949 | Fax: 610-489-8447

www.gilmore-assoc.com

Reference: QDB Ventures

Preliminary/Final Subdivision and Land Development Plan

Upper Uwchlan Township, Chester County, PA

File No. 09-07021T

August 9, 2010

section of the ordinance. The Applicant should verify that the underdrain system will be able to adequately drain as it appears that the inverts in the existing inlet, within Byers Road, are too high.

Elevations should be provided on the plan which verify the underdrain is a minimum of 18" below the foundation as required under this section.

2. (W) Section 162-51.C.(1).(c) – The Applicant has requested a waiver from providing the required stormwater runoff volume reduction. We would recommend the waiver contingent upon the Applicant providing additional post-developed runoff rate reduction (100-year post-developed rate reduced to the pre-developed 50-year rate).

Calculations have been provided as requested which verify the runoff rate for the 100 year post-developed storm will be reduced to the pre-developed 50-year rate. Therefore we would recommend the waiver be granted. However a complete stormwater management report should be provided which includes these revised calculations.

3. (W) Section 162-55.D.(1) – *No structures may be placed within any riparian buffer and no land disturbance is permitted. The riparian buffer definition includes alluvial soils. A portion of the site is comprised of alluvial soils. This area should be delineated and indicated as a riparian buffer. Currently disturbance is proposed and an inlet, a storm pipe, paving, and a portion of the retaining wall are shown within the riparian buffer. A waiver should be requested.*

The applicant has requested a waiver from this section. We would recommend this waiver be granted.

III. STORMWATER MANAGEMENT ORDINANCE REVIEW

1. Section 152-17.A – *The property owner shall sign an operations and maintenance agreement with the Township covering all stormwater BMP's that are to be privately owned. The agreement shall be substantially the same as the agreement in Appendix B of this Ordinance.*

This agreement should be executed prior to the land development plans being recorded.

Reference: QDB Ventures

Preliminary/Final Subdivision and Land Development Plan

Upper Uwchlan Township, Chester County, PA

File No. 09-07021T

August 9, 2010

IV. GENERAL COMMENTS

1. *The Applicant should clarify how the retaining wall will be constructed without impacting the adjacent properties. The proposed retaining wall is located approximately one (1) foot from the property line and is immediately adjacent to several existing trees and an existing fence line.*

A construction detail should be provided on the plan. Shop drawings for wall must be provided prior to construction.

2. *A detail should be provided for pipe trench restoration in both paved and unpaved areas.*

A detail has been provided as requested. However, the stormpipe detail should be revised to indicate there is to be a minimum of 12" of 2A stone provided above the top of the pipe under paved areas.

3. **Inlet IM2 should be lowered so it is in sump condition and the area along the site frontage should be regarded so runoff is directed towards the inlet as intended.**

V. TOWNSHIP TRAFFIC CONSULTANT COMMENTS (McMAHON ASSOCIATES, INC.)

1. The applicant should provide a copy of the HOP plans and all PennDOT comment letters received to date regarding the access driveway for Township review. Specifically, any correspondence regarding the proposed 15-foot southwest curb radius and the uncurbed west side of the driveway should be provided for review.
2. The truck turning template showing the emergency service vehicle turning right into the site access should be revised so that the vehicle path does not traverse off of the western pavement edge of the driveway.
3. (W) The applicant is requesting a waiver of Section 162-32.F of the *Subdivision and Land Development Ordinance* to allow a 15-foot curb radius on the southwest corner of the widened driveway. Since truck turning templates indicate that the responding fire department's largest emergency service vehicle can access the site as designed, we preliminarily support this waiver, subject to the review and approval of PennDOT.

Reference: QDB Ventures

Preliminary/Final Subdivision and Land Development Plan

Upper Uwchlan Township, Chester County, PA

File No. 09-07021T

August 9, 2010

4. The applicant's engineer has indicated that a floating access easement is not proposed as part of this development. If at all possible, we continue to recommend a floating access easement consistent with the Township's new Access Management Ordinance should be provided in order to provide the opportunity for cross access connections between adjacent properties in the future, although we understand this application was filed in 2009 prior to completion of the new Ordinance.
5. The applicant's engineer has indicated that if the other properties that share the proposed driveway ever redevelop in the future, any modification of the driveway will be provided at that time. A note should be added to the plan indicating that if this subject property or the adjacent properties that share the proposed access ever redevelop or change use, these properties will be responsible for any modifications to the access if needed.
6. Since Byers Road (S.R. 1022) is a state highway, the driveway design will be subject to the review and approval of PennDOT for issuance of a Highway Occupancy Permit.
7. Based on the trip generation data contained in the Institute of Transportation Engineers' publication, ***Trip Generation, Eighth Edition***, the proposed 4,400 square-foot office building will generate approximately seven new trips to the study area roadways during the weekday afternoon peak hour. Therefore, the number of trips that should be subject to the Township's Transportation Impact Fee is **seven**, and the resultant transportation impact fee is **\$11,399.36**.

VI. TOWNSHIP PLANNING CONSULTANT COMMENTS
(BRANDYWINE CONSERVANCY)

Comments will be provided under separate cover.

VII. TOWNSHIP MUNICIPAL AUTHORITY CONSULTANT
(ARRO CONSULTING, INC.)

1. The applicant shall have a Land Planning Module approved by the Pennsylvania Department of Environmental Protection for the proposed holding tank.

Reference: QDB Ventures

Preliminary/Final Subdivision and Land Development Plan

Upper Uwchlan Township, Chester County, PA

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2. The applicant shall provide design computations for the sizing of the proposed holding tank.
3. It appears that the lateral is in conflict with two proposed shrubs. There shall be no trees or shrubs located closer than ten (10) feet to the proposed sanitary sewer lateral.
4. A Pump and Haul Agreement for this project shall be executed prior to final approval of the Plan.
5. Although the Plan does now show the proposed means of sewage conveyance including sewer lateral location, pipe material, pipe diameter, and the holding tank locations, Standard Details 4600SD14 and 4600SD24 from the Upper Uwchlan Township Technical Specifications should be shown on the detail drawing sheet. A copy of these details is enclosed for the applicant's use.

VIII. TOWNSHIP LIGHTING CONSULTANT COMMENTS
(C. STANLEY STUBBE)

Proposed lighting consists of 5 250-watt pulse start metal halide luminaires with backlight shields, pole-mounted at 20' AFG. Lighting is to be switched by a programmable controller for automatic shutoff within 1 hour of the close of business. According to General Note 4, Applicant does not propose the use of all-night safety/security lighting. No other exterior lighting is proposed. Section 162-58.C.(3)(i) requires that light trespass onto an adjacent residential use not exceed 0.1 vertical footcandle measured line-of-sight at the property boundary. Values as high as 1.3 footcandles are plotted beyond the east property boundary. However, the Howell letter states that the property to the east is not a residential use.

The following comment and recommendation is offered for Township consideration based on the requirements contained in SLDO Section 162-58. Lighting. [Added 6-17-2002 by Ord. No. 02-04] and reasonable and customary engineering practices:

- Section 162-58.C.(4) requires that poles directly behind parking spaces are to be protected from backing vehicles by being set back 5' feet from face of curb or edge of paving or set atop a 30" high concrete pedestal or otherwise suitably protected. Applicant proposes a 3' setback for the unprotected pole directly behind a parking space.

It is recommended that Applicant be requested to provide a 5' minimum setback or other protective means such as a steel bollard.

Mr. Cary Vargo, Upper Uwchlan Township Manager

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Reference: QDB Ventures

Preliminary/Final Subdivision and Land Development Plan

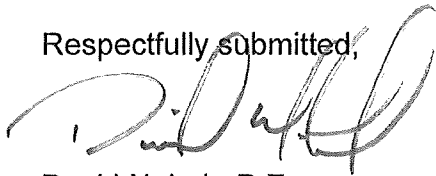
Upper Uwchlan Township, Chester County, PA

File No. 09-07021T

August 9, 2010

This concludes the first review of the above-referenced plan. We would recommend **Preliminary / Final Approval** be considered at this time, contingent upon the Applicant addressing the above referenced comments as well as any comments raised by the Township Planning Commission or Board of Supervisors. If you have any questions, please do not hesitate to contact me.

Respectfully submitted,



David N. Leh, P.E.

Upper Uwchlan Township Engineer

Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members
Upper Uwchlan Township Board of Supervisors Members
Sheila E. Fleming, ASLA, Brandywine Conservancy
Christopher J. Williams, P.E., McMahon Assoc., Inc.
G. Mathew Brown, P.E., Arro Consulting, Inc.
C. Stanley Stubbe, C. Stanley Stubbe
Justin Linette, P.E., D.L. Howell & Associates
QBD Ventures, Applicant



UPPER UWCHLAN TOWNSHIP
Planning Commission Meeting
September 14, 2023
7:00 p.m. Meeting
Minutes
Draft

LOCATION: Township Building, 140 Pottstown Pike, Chester Springs PA 19425

Attendees:

Sally Winterton, Chair; David Colajezzi, Jim Dewees, Vikas Harjani, Jeff Smith
MaryLou Lowrie, P.E., Gilmore & Associates
Gwen Jonik, Planning Commission Secretary

Absent: Chad Adams, Stephen Fean, Ravi Mayreddy, Joe Stoyack

Sally Winterton called the Meeting to order at 7:00 p.m. and welcomed new member, Vik Harjani. A quorum was present. There were 2 citizens in attendance.

Approval of Minutes

Jeff Smith moved, seconded by Jim Dewees, to approve as presented the minutes of the June 8, 2023 Planning Commission Meeting. The motion carried unanimously.

164 Byers Road / QBD Ventures Preliminary-Final Land Development Plan

Alexander Mundy, DL Howell, was representing property owner Peter Rodgers for this land development plan dated December 2020 and last revised August 4, 2023. Proposed is a 2,200 SF footprint 2-story office building with 22 parking spaces (as required) on a currently vacant 0.7-acre lot on Byers Road, across from the "Fieldstone at Chester Springs" senior living facility that is under construction. The Plan had received approval in August 2010 but that approval has expired. Previously granted waivers are again requested.

Mr. Munday advised that the curb radius is less than 35', a retention bed is being used for stormwater management as it's a small lot, the previous building was demolished, there are public water and public sewer connections, they've received a current PennDOT highway occupancy permit – striping, new curb; the 2010 plan was approved but not recorded, there is a driveway easement agreement to serve the 2 lots behind this parcel.

The Planning Commission reviewed Gilmore & Associates' September 11, 2023 review letter and questioned the waiver for the landscaping requirements. Since it is a small lot, they can't fit all of the required plantings. They are proposing a long detention basin that will slowly release the water for the stormwater management, and they're a 16" deep underdrain instead of the 18" required because that would be deeper than the inlet and it wouldn't drain. They are meeting the flow reduction, not infiltration.

Mr. Mundy advised they'll comply with all the other comments. Sally Winterton called attention to the proposed lighting fixtures and advised Mr. Mundy that while the Township is updating the Village Concept Plan and Village Design Guidelines, we might want to continue the village light fixtures from Eagle into Byers historic village, along the sidewalk.

Jim Dewees questioned the architecture/design of building being consistent with the other buildings in Byers historic village. Mr. Mundy replied the design would be consistent.

Other discussion and comments included:

The proposed landscaping will provide a nice buffer with the neighbors;
There are a few questions so perhaps only approve preliminary plan approval;
The vegetation right at the driveway might create sight-distance issues.

Jeff Smith moved to recommend granting only the waiver for combined preliminary/final plan approval. Jim Dewees seconded. Discussion included members not recalling the architectural design of the building and several other points. They'd like to see some of the original 2021 presentation. Mr. Smith withdrew his motion.

Jeff Smith moved to recommend preliminary plan approval with a condition that the developer return with architectural renderings before they consider recommending final plan approval. Sally Winterton added that the developer review the existing Village Design Guidelines as they draft a design.

Jeff Smith moved to not recommend granting the waiver for preliminary-final; he is comfortable with preliminary plan approval but would like to see elevations prior to final approval. David Colajezzi seconded the motion. Sally Winterton amended the motion to just recommend preliminary plan approval only and leave the elevations separate. Mr. Mundy noted that 2 elevations had been sent previously and one of those would most likely be the design. The motion carried with four (4) in favor and one (1) opposed (Dewees).

Regarding the remaining waivers, the Commission is not supportive of the partial waiver for a modified landscape plan, they do not favor the reduced plantings and placement of a tree right by the driveway.

Jeff Smith moved to recommend granting only the following waivers:
to permit the 35' curb radius;
to permit the construction of a structure in the riparian buffer;
to not provide the required stormwater runoff volume reduction;
to provide an underdrain that is less than the minimum 18" below the foundation.
Vikas Harjani seconded, and the motion carried unanimously.

Sally Winterton noted that when DL Howell is ready to return to the Planning Commission, they should have reviewed the existing Village Design Guidelines and the building should be compatible with the adjacent Byers Station Historic District -- Victorian, not palladium -- and they'd like greater detail regarding the landscape design.

Meeting Updates

Environmental Advisory Council (EAC). Jeff Smith reported the EAC was going to have a roadside litter cleanup September 16 but it's being postponed; they're hosting a shredding/e-waste event October 14; they reviewed an amendment to the Alternative Energy Ordinance; they'll participate in Trunk or Treat and the annual Tree Lighting Ceremony.

Historical Commission (HC). David Colajezzi reported a lecture on Warwick Furnace September 24; he and Jim Dewees met with the HC a few months ago to discuss the Historic Resource Protection Plan; they hosted one of the County's summer walking tours; there are 2 vacancies, and there are 2 candidates; the historic resource inventory update is being reviewed; the Upland Farm farmhouse is getting new electric.

Active Transportation Plan (ATP). Sally Winterton reported that there's a public workshop September 27 at the Barn at Upland Farm where the information from the public survey and other types of input will be presented.

Next Meeting

Sally Winterton announced the next meeting is October 12, 2023, 7:00 p.m. There might be a 6:00 p.m. Workshop for ordinance review and discussion.

Open Session

Gwen Jonik advised the Board of Supervisors will authorize advertising of the Alternative Energy Ordinance amendments for adoption at their October meeting; the last summer concert is postponed to September 17.

Gerry Stein asked for news of the proposed warehouse at the 'Happy Days Farm' on Route 100 in Uwchlan Township. Jeff Smith advised that it had been approved and the developer hopes to start construction this Fall. Nothing is happening right now with the proposed warehouse at Lionville Station Farm - it was only a sketch plan, but they have to do something by November or the Agreement of Sale expires.

Gerry Stein advised that a tour of some of the Milford Mills ruins is being offered in October by the Marsh Creek State Park Ranger. It'll be open to anyone.

David Colajezzi asked when Celebree School plans to break ground (on Byers Station Parcel 5C Lot 2B). Jeff Smith noted nothing is happening yet but they hope by Spring 2024.

Adjournment

Jim Dewees moved, seconded by David Colajezzi, to adjourn at 8:33 p.m. All were in favor.

Respectfully submitted,

Gwen A. Jonik
Planning Commission Secretary