



UPPER UWCHLAN TOWNSHIP  
PLANNING COMMISSION  
AGENDA  
**March 9, 2023**

6:00 p.m. – Work Session  
7:00 p.m. -- Meeting

**LOCATION**

Upper Uwchlan Township Building, 140 Pottstown Pike, Chester Springs PA 19425

- I. 6:00 PM Work Session  
Continued review of zoning ordinances, definitions, uses, etc.
- II. 7:00 PM Meeting Call To Order
- III. 301 Park Road – P.J. Reilly Headquarters Land Development Plan  
Review revised plans and Applicant's responses to the consultants' comments.
- III. Eagleview Corporate Center Lot 1A Land Development Plan  
Review consultants' and County Planning Commission comments
- IV. Ordinance Amendments discuss drafts, make recommendations to the Board
  - A. Alternative Energy Systems
  - B. Uniform Construction Code re: penalties
- V. Approval of Minutes: February 9, 2023 Meeting
- VI. Meeting Updates ~ Reports
  - A. Environmental Advisory Council (EAC)
  - B. Historical Commission (HC)
  - C. Active Transportation Plan (ATP)
- VII. Next Meeting Date: April 13, 2023 7:00 p.m.
- VIII. Open Session
- IX. Adjournment



March 1, 2023

David N. Leh, PE  
Gilmore & Associates, Inc.  
184 W. Main Street, Suite 300, Trappe, PA 19426

RE: 301 Park Road – P.J. Reilly Contracting, Inc.  
Proposed Headquarters Building  
Preliminary Land Development Application  
Upper Uwchlan Township  
WAI Project 2021-231

Dear David:

We are in receipt of your review letter dated December 2, 2022 and have the following responses:

II. ZONING ORDINANCE REVIEW

1. Sections 200-44.F, K, J and 200-62.F – The Township application states the site uses will be office and garage (in the same building), as well as an outdoor gravel storage area. Office building is a permitted use in the LI District, and outdoor storage is a permitted accessory use. We defer to the Zoning Officer to determine if the garage use is permitted by right.

*We will await comment from the Zoning Officer about the garage being permitted by right.*

2. Section 200-45 – Add a zoning table showing the required and proposed bulk zoning regulations. Label and dimension all yard setbacks on the plan view. Show the front lot line / street line on the plans as well; Park Road has an ultimate right-of-way of 50-feet.

*The zoning table showing the required and proposed bulk zoning regulations has been added to the plan. All yard setbacks have been labeled on the plan view. The front lot line and the ultimate right-of-way have been added to the plan.*

3. (V) Section 200-45 – A portion of the proposed building is shown within the required yard setback, which will require a variance. The Applicant has noted on Sheet 3 they will be seeking this relief.

*A variance is being requested for relief from this requirement.*

4. Section 200-73.A(3) – In any industrial district, no parking, loading or service area shall be located within 25 feet of the ultimate right-of-way line. Show the ultimate right-of-way of Park Road as well as this setback.

*A variance may be required from this section. Currently, the parking along the road is within 25 feet of the ultimate right-of-way line. When the reviewer confirms if the parking count is sufficient, then we will determine if a variance will be necessary.*



5. Section 200-73.B(3) – Pedestrian paths shall be provided from the parking areas to the entrances of buildings. Pedestrian walks crossing any parking and driveway aisles shall be delineated by either stripes or a different paving material. Show pedestrian paths on the plans.

***Pedestrian crosswalks have been added to the plan.***

6. Section 200-73.C – Provide a typical parking space dimension (9-feet wide by 18-feet deep) and dimension the aisle widths (25-feet).

***The dimensions for the parking spaces have been provided on the plans.***

7. Sections 200-73.D(3), 200-77 and 200-78 – Parking areas shall be landscaped in accordance with § 162-57 of Chapter 162, Subdivision and Land Development. Provide a landscaping plan. We defer to Brandywine Conservancy regarding landscaping review.

***The Landscape Plan has been added to the plan set.***

8. Section 200-73.H – Provide the parking calculation.

***The parking calculations have been provided on the plan.***

9. Section 200-74 – Show the off-street loading and unloading area.

***The off-street loading and unloading area has been provided on the plan.***

10. Section 700-79 – A lighting plan shall be provided in accordance with this section.

***The lighting plan has been added to the plan set.***

11. Section 200-80.A(2) – For the purposes of this section, permanent outdoor storage shall consist only of the storage of materials (e.g., mulch, landscape plant materials) or products that directly pertain to the allowed use(s) of the subject property, except for the outdoor storage of vehicles which is regulated by Subsection D of this section. The Application states that the site will contain a gravel storage area. Please indicate on the plan view via shading / label where the gravel storage area is to be located.

***The shading and labeling have been added to the gravel storage area.***

12. Section 200-80.A(4) – Permanent outdoor storage shall be completely screened from view of any public right-of-way and any adjacent uses in accordance with §§ 200-77 and 200-88 of this chapter, and with Chapter 162, Subdivision and Land Development. We defer to Brandywine Conservancy in this matter.

***The outdoor storage area is proposed to be completely screened from view of any public right-of-way.***

13. Section 200-80.A(5) – No storage shall be permitted within the front yard of any lot. It should be confirmed this requirement is being met.

***A variance is being requested from the requirement to not allow storage within the front yard of a lot.***



14. Section 200-80.A(6) – Permanent or temporary outdoor storage as an accessory use shall occupy an area of less than  $\frac{1}{2}$  the existing building coverage of the building lot's principal use. In no case shall more than 25% of the building area be used for any outdoor storage. Accessory uses requiring a greater land area for storage than specified herein may be permitted as a special exception. Provide a calculation showing compliance with this requirement.

*The proposed building coverage of the lot is 8,400 sf. The proposed outdoor storage is 3,570 sf which is less than 4,200sf – half of the building coverage.*

15. Section 200-80.B - Show the proposed garbage storage area on the plans in accordance with this section.

*The proposed garbage storage area has been added to the plans.*

16. Section 200-80.C – Clarify whether any fuel or other explosive materials are intended to be stored on the site.

*Fuel and other explosive materials will not be stored on site.*

17. Section 200-88.E – Fences or walls shall not be located in drainage easements or drainage swales that are part of an approved stormwater management plan pursuant to applicable ordinances, in such a manner as to impede water flow within the easement or swale. Plans for the adjacent tract show a drainage easement on the subject property, which is not shown on the plans. This easement shall be shown on the plans. If the retaining wall, grading or other proposed features are within the easement, the applicant shall demonstrate that these features are permitted. Based on proposed grading, provide calculations showing that the basin volume will not be reduced. Finally, design calculations for the retaining wall within the basin shall be based on the highest water elevation when full.

*The design for the retaining wall shall be completed by a structural engineer and will be submitted with one of the following submissions.*

18. Section 200-93 – The applicant shall clarify if signage is proposed.

*Signs have been added to the plan.*

### III. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

1. Section 162-9.B.(1)(h) – The submittal shall include the conservation plan, per Subsection E of this section, and the improvement construction plan, per Subsection F of this section.

*The Conservation Plan has been added to the plan set.*

2. Section 162-9.B.(2)(b)[4] – Zoning information, including applicable district, lot size and yard requirements, and any zoning boundaries that traverse or are within 200 feet of the tract should be added to the Record Plan.

*Zoning information, including district, lot size and yard requirements, and zoning boundaries within 200 feet of the tract have been provided on the plans.*



3. Section 162-9.B.(2)(b)[7] – Show all existing rights-of-way within and adjacent to the tract.

*All existing rights-of-way within and adjacent to the tract have been added to the tract.*

4. Section 162-9.B.(2)(b)[9] – Provide the names of all owners and deed book reference of all adjacent lands, the names of all proposed and existing subdivisions adjacent, and the locations and dimensions of any streets or right-of-way easements.

*The names of all owners and deed book reference of all adjacent lands and subdivisions and the locations and dimensions any streets or right-of-way easements have been provided on the plan.*

5. Section 162-9.B.(2)(b)[10] – The locations and dimensions of all existing streets, sewers and sewage systems, water mains and feeder lines, fire hydrants, gas, electric, and oil transmission lines, watercourses, sources of water supply, easements, and other significant features within the property, or such driveways, intersections and utilities within 100 feet of any part of the property proposed to be developed or subdivided should be shown on the plan.

*An inset has been added to the Existing Features Plan showing all significant features within 100 feet of the property to be developed.*

6. Section 162-9.B.(2)(c)[1] – Show the location and width of all streets and rights-of-way with a statement of any conditions governing their use, including geometrics to the nearest intersection.

*The location and width of all streets and rights-of-way with a statement of any conditions governing their use, including geometrics to the nearest intersection, have been provided on the plan.*

7. Section 162-9.B.(2)(c)[4] – Label the minimum side and rear yard limits to each lot.

*The minimum side and rear yard limits have been labeled on the plan.*

8. Section 162-9.B.(2)(c)[5] – Add a statement to the plan indicating the intended use.

*A statement has been added to the Site Plan indicating the intended use.*

9. Section 162-9.B.(2)(c)[10] – Show the locations of right-of-way monuments.

*The locations of right-of-way monuments have been added to the plans.*

10. Sections 162-9.B.(2)(d)[1] and 162-9.D – Provide a preliminary site analysis and impact plan, prepared in accordance with Subsection D.

*A Preliminary Site Analysis and Impact Plan has been added to the plan set.*

11. Section 162-9.B.(2)(d)[5] – A preliminary landscaping plan shall be included with each industrial plan, prepared in accordance with § 200-78 of Chapter 200, Zoning.

*The Landscape Plan has been added to the plan set.*



12. Section 162-9.F.(2)(c) – The applicant shall identify all the outlined information, as applicable, on a single plan. The utilities plan shall be labeled such and shall be placed on a sheet separate from all other required plan information.

*The plans have been separated into each individual plan as requested.*

13. Section 162-9.G – The applicant shall provide a will-serve letter from Aqua.

*The will serve letter from Aqua has been attached to this submission.*

14. Section 162-41.B – Sidewalks shall be required in any subdivision or land development where it is desirable, in the opinion of the Board, to continue sidewalks that are existing in adjacent developments, or to provide access to community facilities (schools, shopping areas, recreational areas, etc.), or to ensure the safety of pedestrians in unusual or peculiar conditions with respect to prospective traffic.

*At the December 8, 2022 Planning Commission meeting, the board agreed that sidewalks would not be necessary along the frontage of the property or leading to other adjacent developments.*

15. Section 162-41.C – Sidewalks shall be provided along all new parking areas located in nonresidential land developments unless it can be shown, to the satisfaction of the Board, that pedestrian traffic does not follow or mix with vehicular traffic, in which case, both sidewalks and curbs may not be required.

*Sidewalks are provided from parking areas to the proposed building along with crosswalks to facilitate pedestrian movement through the parking areas.*

16. Section 162-41.G – Where sidewalks abut the curb and a building, wall or other permanent structure, a premolded expansion joint 1/4 inch in thickness shall be placed between curb and the sidewalk for the full length of such structure. Sidewalks shall be constructed in separate slabs 30 feet in length except for closures. The slabs between expansion joints shall be divided into blocks five feet in length by scoring transversely.

*The Concrete Sidewalk Detail has been revised with the above information.*

17. Section 162-47.A(1) – Permanent stone or concrete monuments shall be accurately placed at the intersection of all lines forming angles and at changes in directions of lines in the boundary (perimeter) of the property being subdivided. Please revise the plans to show monuments along the perimeter boundary instead of pins. Iron pins may be utilized elsewhere.

*Permanent concrete monuments have been added to the plans along the perimeter boundary.*

18. Sections 162-49 – Although the plans indicate the site will be serviced by public water, we note that the plans do not show any water service connection. This should be provided.

*The public water service connection has been added to the plan.*

19. Section 162-52 – No topsoil shall be disposed of, by sale or otherwise, off the site of the construction. Please add a note to the Record Plan stating same.



***The note has been added to the Record Plan.***

20. Section 162-55.B – Clearly show all trees to be removed. For each tree greater than six inches dbh removed, replacement trees shall be planted in accordance with the schedule in this section.

***Each tree to be removed has been denoted with the text "TBR".***

21. Section 162-57.B(1) – Once an acceptable Landscape Plan has been submitted in compliance with Section 162-57, comments will be provided. We do note that where what appears to be proposed tree symbols are shown are in areas of conflict (underground basin, storm, etc.) which will require revision.

***Comment acknowledged.***

#### **IV. STORMWATER MANAGEMENT ORDINANCE REVIEW**

1. The Applicant is proposing four infiltration basins to control post- development runoff, three subsurface and one above-ground.

***Comment acknowledged.***

2. Section 152-306.J(3) – The infiltration facility shall completely drain the retention (infiltration) volume within three days (72 hours) from the end of the design storm. Provide calculations showing same.

***Basin dewatering calculations have been provided in the stormwater management report showing that all basins will completely drain the infiltration volume within 72 hours.***

3. Section 152-306.K(3) – Setbacks from property lines and rights-of-way are to be consistent with accessory structures in the Zoning Ordinance for the applicable zoning district. Per Section 200-45.F, no accessory building or structure shall be located within the front yard, nor within 30 feet of any side or rear lot line. Basins A, B and C are in the front yard setback, and Basin D is in the rear yard setback.

***A waiver is being requested for relief from this section to allow the basins within the building setbacks.***

4. Section 152-306.Q – Where roof drains are designed to discharge to infiltration practices, they shall have appropriate measures to prevent clogging by unwanted debris (for example, silt, leaves and vegetation). Such measures shall include but are not limited to leaf traps, gutter guards and cleanouts.

***A leaf trap filter screen has been added to the plan and a detail provided.***

5. Sections 152-307.C and 152-309.D(1)(b) – Pre-development groundcover assumptions for all other areas than woods (including all impervious surfaces), predevelopment calculations shall assume ground cover of "meadow." The stormwater report uses impervious surfaces as pre-development groundcover.

***The impervious surfaces in the pre-development condition have been revised to be meadow.***



6. Section 152-309.E – Runoff curve numbers (CN) for both predevelopment and proposed (post-construction) conditions to be used in the Soil Cover Complex Method shall be obtained from Table B-1 in Appendix B of this chapter.

*The runoff curve numbers used for the predevelopment and postdevelopment conditions have been obtained from Table B-1 in the Appendix of this chapter.*

7. Section 152-311.G – Provide an emergency spillway for Basin A.

*The outlet structure has been calculated to handle the 100-year flow for the basin and will act as the emergency spillway. A one-foot-deep notch has been added to the berm to guide any flows in excess of the 100-year storm through it.*

8. Section 152-311.I(4) – The top of any fill or toe of the slope of any fill shall be located five feet from any property line.

*The top of fill or toe of slope of any fill is located 5 feet from the property lines.*

9. Section 152-311.J(3) – A minimum of six inches of topsoil material shall be placed on all areas affected by construction of detention basins (bottom of basin, side, slopes, top of berm, etc.)

*The infiltration basin detail has been revised to indicate that a minimum of six inches of topsoil material shall be placed on all areas affected by construction.*

10. Section 152-402.A(2) – A listing of all regulatory approvals required for the proposed project and the status of the review and approval process for each shall be included in the PCSM plan. Final approval or adequacy letters must be submitted to the municipality prior to (or as a condition of) the municipality's issuing final approval of the SWM site plan. Proof of application and approval shall be provided for the NPDES Permit and the Erosion and sediment control plan letter of adequacy.

*The project has been submitted to the Chester County Conservation District for review for an NPDES permit. The NPDES permit shall be submitted to the township upon receipt.*

11. Section 152-402.A(3) – A statement, signed by the applicant, acknowledging that any revision to the approved SWM site plan shall be submitted to and approved by the municipality, and that a revised erosion and sediment control plan shall be submitted to, and approved by, the Conservation District for a determination of adequacy prior to construction of the revised features.

*This statement has been added to the PCSM plan.*

12. Section 152-402.A(4) – The following signature block signed and sealed by the qualified licensed professional responsible for the preparation of the SWM site plan:

"I (name), on this date (date of signature), hereby certify to the best of my knowledge that the SWM site plan meets all design standards and criteria of the Upper Uwchlan Township Ordinance No. 2013-05, Stormwater Management Ordinance." [Note: include signature, name, discipline of professional license, and license stamp or seal here]



***This statement has been added to the PCSM plan.***

13. Sections 152-402.B(18)(a), (c), 152-402.F(3) and 152-704.A – Identify the person or entity responsible for BMPs after construction and provide easements.

***The entity responsible for BMPs after construction has been identified on the PCMS plan. A blanket easement is being offered to the township.***

14. Section 152-402.F(2) and 152-703.A – An O&M agreement shall be provided.

***An O&M agreement will be provided as the project nears final approval.***

15. Section 152-402.G – A letter of adequacy from the Conservation District must be submitted to the municipality prior to (or as a condition of) the municipality's final approval.

***A copy of the NPDES permit shall be forwarded upon receipt.***

16. Section 152-502 – For regulated activities involving one acre or more of earth disturbance, the applicant shall provide to the municipality final as-built plans (signed and sealed by a qualified licensed professional) of all BMPs, conveyances, other stormwater facilities, and related improvements shown in the final approved SWM site plan.

***The applicant shall provide final as-built plans of all improvements shown on the final approved SWM site plan.***

17. Section 152-702.B – Include the information in this section on the PCSM Plans.

***The information in this section has been added to the PCSM plan. Some of the information is located on the PCSM detail sheets due to space constraints.***

18. Sections 152-702.B(4), C, D and 152-705.B to D – The statements in these sections shall be added as notes to the PCSM Plans.

***The statements in these sections have been added as notes on the PCSM plan.***

19. Section 152-804 – Add the statements in this section to the PCSWM Plan.

***The statements in this section have been added to the PCSM Plan.***

20. The applicant shall determine an adequate tailwater elevation to use in the calculations.

***The tailwater elevation used for each pipe that drains into a basin, including the existing basin, has been added to the calculations.***

## **V. GENERAL COMMENTS**

1. All uses as listed on the Application shall be listed on the Record Plan. Add the notation "Record Plan Sheet \_\_ of \_\_" on all sheets to be recorded.



*All uses as listed on the Application have been listed on the Record Plan. The notation "Record Plan Sheet \_ of \_" has been added to all sheets to be recorded.*

2. Revise the "Approved by the Township of Schuylkill" reference, and the "Borough" reference in the PE Certification on Sheet 3.

*The incorrect references have been revised.*

3. Revise the "Site" location on the Zoning Map on Sheet 1, as it pointing to an incorrect location.

*The site location on the Zoning Map on Sheet 1 has been revised.*

4. Add all adjacent road names.

*All adjacent road names have been added to the plan.*

5. Indicate what existing features are to be removed on all existing conditions plans (i.e., "TBR"). Features to be removed should not be shown on any proposed conditions plan sheets.

*The features to be removed have been revised with "TBR" labels for clarity. All features to be removed are not shown on plan sheet with proposed conditions.*

6. We recommend the applicant consider making one discharge point at the retaining wall instead of ST-1 and ST-166.

*The discharge points have been combined into one discharge point.*

7. Verify that the sanitary line on Sheet 2 is existing and clarify its location near the dwelling; we note that the stormwater report narrative indicates an on-lot septic system. The on-lot system should be shown on the plans.

*The existing on-lot septic system has been added to the plan. The sanitary line shown on Sheet 2 is a proposed connection.*

8. Verify the source of potable water for the existing structure; we note a "water spicket & lid" are shown on Sheet 2.

*The location of the existing well has been clarified on the plan.*

9. On Sheet 2:

Clarify the "Stone drive (construction entrance)" label; no driveway outline is shown.

*The label for the stone drive has been revised to clarify its use and the driveway outline is now shown.*



Clarify what utilities are located within the Lighttower Easement as there are many proposed features shown within this easement and please clarify where "Ref. #1" is located on the plans.

***The Lighttower Easement was located on a plan for the PA Turnpike on-site easement. The easement was not able to be located or verified through other means and was removed from the plan.***

Verify the two bearing and distance labels near the Lighttower Easement, as there does not appear to be any property or easement lines associated with these. Also revise the arc bearing and distance information along the southern property line.

***The bearing and distance labels near the Lighttower Easement have been removed from the plan. The arc bearing and distance information along the southern property line has been revised.***

Clarify the enclosed area on the southern property line (i.e., is this part of the property, an easement, etc.).

Clarify/verify Demolition Notes #9 and #10.

***Demolition Notes #9 and #10 have been removed from the plan.***

10. Remove the "Proposed tree ROW" label in the existing basin, adjacent to retaining wall next to Basin D on Sheet 3, and on Sheets 2 and 3 of the Drainage Area Plans.

***The text has been removed as requested.***

11. Remove the proposed riprap symbols from Sheet 1 of the Drainage Area plans (pre-development plan).

***The proposed riprap symbols have been removed from Sheet 1 of the Drainage area plans.***

12. Show the test pit locations on a proposed conditions plan.

***The test pit locations have been added to the Grading and PCSM plan and the Proposed Drainage Area Plan.***

13. Clarify the pipes from building to ST-18 and from ST-12 (i.e., source).

***The pipe coming from the building are roof drain collection pipes.***

14. Add top and bottom of wall elevations.

***Top and bottom of wall elevations have been provided.***

15. Verify that sufficient room is provided in the existing basin to construct the proposed retaining wall and verify the LOD and SOX.



***The proposed retaining wall is being designed by a structural engineer. Once that design is received, the LOD and soxx in the basin will be verified for sufficient room for construction.***

16. Clarify how the retaining wall construction area will be protected from water when the basin is activated during a storm.

***The retaining wall construction has been addressed in the construction sequence.***

17. Verify that proposed features are permitted within the lighttower easement.

***The Lighttower Easement was located on a plan for the PA Turnpike on-site easement. The easement was not able to be located or verified through other means and was removed from the plan.***

18. Show the existing basin easement which was to be established when the Eaglepointe Shopping Center was constructed. If for some reason it was not created, one should be generated at this time.

***The existing basin easement has been added to the plan.***

19. Show the chain link fence on the plan view (detail on Sheet 4) and include in the legend.

***The chain link fence detail has been removed from the plan.***

20. Show ST-16 label and leader to correct elevation on the ST-17 to ST-16 profile, label Basin C, and show the retaining wall.

***The ST-16 label has been revised, Basin C labeled, but the pipe alignment has changed so the retaining wall was not added to the profile since the pipe no longer goes through it.***

21. Show the retaining wall on the ST-15 to ST-14 profile.

***The retaining wall has been added to the profile.***

22. Show the retaining wall on the ST-19 to ST-18 profile.

***The retaining wall has been added to the profile.***

23. Show ST-20 label and leader to correct elevation on the ST-21 to ST-20 profile, label Basin D, and show the retaining wall.

***The ST-20 label has been revised, Basin D labeled, and the retaining wall has been shown on the ST-21 to ST-20 profile.***

24. Show the ST-12 to ST-11 crossing on the ST-3 to ST-1 profile. Provide an ST-12 to ST-11 profile (and show crossing).

***The crossing has been added to the ST-3 to ST-1 profile. An ST-12 to ST-11 profile has been added with the crossing.***



25. Show the sanitary crossing on the ST-8 to ST-7 profile, and on the ST-3 to ST-1 profile.

***The sanitary crossing has been added to the profile for ST3-ST1. ST-8-ST7 has been moved and the sanitary line no longer crosses it.***

26. Provide calculations showing that the proposed grading and retaining wall will not affect the capacity of the existing basin.

***The volumes for the current basin and for the proposed basin volume have been provided along with a volume comparison table.***

27. Pipes and inlets near a retaining wall shall be included in the design of the walls.

***The pipe and inlets near the retaining wall will be included in the design of the walls.***

28. The line type used for leaders appears to be the same as for proposed contours; different line types should be used for clarity.

***The arrowheads on the leaders have been made larger and the proposed contours made darker for clarity.***

29. Clarify the "C" line type, and verify that it and underground electric are acceptable under/through Basin B, as currently shown on the plans.

***The "C" linetype has been added to the legend. A cross section has been provided to show the crossing of the lines over the underground basin.***

30. Revise the Infiltration Basin Detail on Sheet 7, as the text is indiscernible.

***The Infiltration Basin Detail has been revised to be legible.***

31. Clarify how the retaining wall will be constructed adjacent to the infiltration basins, as the infiltration basin areas are to be protected from compaction and will be surrounded by geotextile material.

***The retaining wall is proposed to be constructed from Redi-rock blocks which does not require geotextile fabric at lower elevations compared to other wall types. The wall in the area of Basin C will not require geotextile fabric so wall construction can avoid the area. The wall in the area of Basin D may require geotextile fabric. Basin D can be reshaped to create more room for geotextile if needed. The structural design of the wall will be available soon.***

32. Clarify how the "undisturbed earth" indicated in the Subsurface Infiltration Basin detail will be possible for Basin C or D.

***The retaining wall is proposed to be constructed from Redi-rock blocks which does not require geotextile fabric at lower elevations compared to other wall types. The wall in the area of Basin C will not require geotextile fabric so wall construction can avoid the area. The wall in the area of Basin D may require geotextile fabric. Basin D can be reshaped to create more room for geotextile if needed. The structural design of the wall will be available soon.***



33. It seems construction easements will be required to construct the proposed retaining walls along the southern property line. These should be provided.

*A temporary easement has been added to the plan for the retaining wall along the southern property line.*

34. The reference to "land alteration permit" under Demolition Notes #1 should be changed to "Land Development Approval".

*Demolition Note #1 has been revised as requested.*

#### **VI. TOWNSHIP TRAFFIC CONSULTANT MCMAHON ASSOCIATES, INC.**

1. SALDO Section 162-9.H(1) – The plans indicate the site will include 8,400 square feet of office space. If this space functions as conventional office space, then the site generates 20 weekday morning and weekday afternoon peak hour trips, which meets the Township's requirements for completion of a traffic study. However, it is our understanding the site will be used for a contractor headquarters, and the plans appear to show that a portion of the building will be used as garage space. As such, the site may not generate traffic at the same rate as a traditional office building. As such, the applicant should prepare a trip generation evaluation of the site based on the intended use of the building. If the intended use of the building generates in excess of 200 daily trips or 20 peak hour trips, a traffic impact study will be required.

*The office space is proposed to be approximately 4,000 sf or less with the remaining area being the garage. A maximum of 11 employees are proposed to be on site daily that will work in the office and garage area. Contractors employed by the company will be entering and exiting the site at off peak hours and likely not on a daily basis. We believe that this will lead to less than 20 peak hour trips and not require a traffic impact study.*

2. SALDO Section 162-27.1 – This project is located within the LI zoning district, and is subject to the Township's access management standards. Based on the plan, we offer the following comments with respect to these standards:
  - a. Section 162-27.1.F(1) and 162-27.1.F(2) – The development proposes two driveways to the site when only one driveway is permitted, unless it is demonstrated that the additional access is necessary to accommodate traffic to and from the site in a safe and efficient manner. The applicant's engineer should provide a justification for the need for two driveways.

*The need for two driveways is to facilitate the movement of the lowboy through the site which is necessary to transport equipment for the owner. The lowboy cannot properly maneuver through the front parking area and requires both driveways as a means to enter and exit the property.*

- ol style="list-style-type: none;">- b. Section 162-27.1.K(1) – The plans should be revised to provide truck turning templates for the largest anticipated vehicle to the site, as well as the Township's largest emergency service vehicle. Based on the plan, it appears that large tractor trailers are expected to access the site, and the truck turning templates should reflect these anticipated vehicles. The truck turning templates will be used



to determine the adequacy of the proposed site access/curb radii design and review of the internal site circulation.

*A truck turning templates for a lowboy have been added to the plan set for review.*

- c. Section 162-27.1.M(1) – The proposed driveway(s) should align opposite Heather Hill Drive, or provide further justification for the proposed design, in light of the comments above.

*The proposed driveway has been realigned so that the centerline of the driveway lines up with the centerline of Heather Hill Drive.*

3. SALDO Section 162-28.A – The plans should clearly label and dimension the existing legal right-of-way along the Park Road site frontage. Since Park Road is classified as a minor collector road, the half-width right-of-way along the site frontage should be 25 feet to meet the ordinance requirement. Any additional right-of-way required to meet the 25-foot half-width right-of-way requirement should be labeled “Required Right-of-Way (To Be Deeded To Upper Uwchlan Township)”.

*The existing legal right-of-way and half width right-of-way have been labeled and dimensioned on the plans.*

4. SALDO Section 162-28.A – The plans should be revised to show more detail regarding the existing cartway width and lane striping along Park Road, including the location of the existing curb. In addition, the plans should reflect all road improvements and guiderail associated with the recently completed Turnpike bridge project. Please provide this information to assist with the proposed access design and to determine if widening of Park Road along the site frontage should be considered in order to meet the Township’s cartway width requirements for a minor collector street of 32 feet (i.e., a 16-foot half width cartway along the site frontage).

*The plans have been updated to provide more information on the cartway width and striping along Park Road including existing curb. PennDot recently completed work at the bridge and along the frontage of the property which widened the road to the minimum requirements.*

5. ZO Section 200-73.D(5) – The plans should be revised to clearly show the number of handicap parking spaces proposed on site. Based on the size of the parking lot as currently proposed (28 parking spaces), the site should provide a minimum of two handicap parking spaces

*The plan has been revised to clearly show the number of handicap parking spaces proposed on site.*

6. ZO Section 200-73.H – Provide a parking tabulation which justifies the proposed 28 parking spaces. It is noted that the site does not provide adequate parking based on the Township’s office land use parking requirement.

*A parking tabulation has been provided to justify the number of parking spaces proposed for the land use of the property.*

7. The Planning Commission should determine whether a pedestrian connection to the existing path on the opposite side of Park Road should be required as part of this development. If a pedestrian connection is



required, we recommend the appropriate pedestrian accommodations (ADA compliant curb ramps, pedestrian warning signs, and crosswalk markings) be provided at the crossing.

***At the December 8, 2022 Planning Commission meeting, the board agreed that sidewalks would not be necessary along the frontage of the property or leading to other adjacent developments.***

8. It appears that a barrier is proposed around the perimeter of a large portion of the parking area. Please label whether this is a retaining wall, guiderail or fence or something else. This feature should not be located within the Township's Park Road right-of-way.

***The barrier around the parking area is a retaining wall with guide rail. The retaining wall is not within the Township's right-of-way.***

9. Sheet 4 includes wood guiderail and chain link fence details. The location of these features should be labeled on the plans.

***The location of the guiderail has been added to the plans. The chain link fence has been removed from the plan.***

10. Due to the presence of large trucks on the site, we question whether a heavy-duty pavement section should be considered for the driveways and on site.

***The asphalt pavement detail has been revised to be a heavy-duty pavement section.***

11. The plans should be revised to clearly label the proposed use and surface material for the open area at the east end of the site.

***The plan has been revised to label the proposed gravel surface storage area at the east end of the site.***

12. ZO Section 200-75.H(3) – The plans show what appears to be evergreen trees along the site frontage in front of the proposed building and parking lot. We recommend these trees should be relocated so they do not interfere with sight distances for traffic exiting the driveways. In addition, the plans should dimension and label the sight distances for vehicles exiting the site access looking to the left and right along Park Road, as well as for left-turn vehicles entering access street looking ahead and behind. In addition, the plans should include a PennDOT-style sight distance note which states the required sight distances, as follows:

“All sight distance obstructions (including but not limited to embankments and vegetation) shall be removed by the permittee to provide a minimum of XXX sight distance to the left and XXX sight distance to the right for a driver exiting the proposed driveways onto the through highway. The driver must be considered to be positioned ten feet from the near edge of the closest highway travel lane (from the curbline if curbing is present) at an eye height of three feet six inches (3'6”) above the pavement surface located in the center of the closest highway travel lane designated for use by approaching traffic. This sight distance shall be maintained by the permittee.”

***A sight triangle has been added to the plans that meets the requirements of this section.***



13. Chapter 79-8.C – The proposed redevelopment is located in the Township's Act 209 Transportation Service Area, and as such, this development is subject to the Townships Transportation Impact Fee of \$2,334 per weekday afternoon peak hour trip. The amount of the Transportation Impact Fee will be determined based on the trip generation calculation requested in comment 1.

Upon resubmission, the applicant's engineer should compose a response letter that describes how each comment has been addressed and where any plan and/or report revisions are located. Additional comments regarding the traffic improvements and/or land development plans may follow upon receipt of future submissions.

*Comment acknowledged.*

## VII. TOWNSHIP LAND PLANNER BRANDYWINE CONSERVANCY

### Comprehensive Plan (2014)

1. The subject lot is within the future land use category identified as Village in the Upper Uwchlan Township Comprehensive Plan (2014). Furthermore, the subject lot is within the designated combined Eagle/Byers villages area that is subject to the Village Concept Plan, which is fully incorporated into the Comprehensive Plan. The Village Concept Plan objectives include maintaining visual integrity, preserving Class I and Class II historic resources, controlling access to Graphite Mine Road, traffic access management, interconnectivity for pedestrians, consistency in streetscapes, and ample civic spaces throughout the village area. The subject lot is within a designated by the Village Concept Plan sub-area, "Turnpike", is envisioned with the following:
  - Extension of Township Line Road north to Park Road (would parallel the Turnpike and provide a second means of access to industrial sites)
  - Two new connector roads between Ticonderoga Boulevard and the Township Line Road extension
  - Large-scale indoor sports/recreation center where currently the FedEx building exists, as well as outdoor public space
  - New office buildings, light industrial
  - High visibility from the Turnpike, orientation of buildings towards Turnpike
  - Large hardware or home improvement chain, garden center
  - Landscape screening/buffer between LI District and Village Commercial District

The proposed development is somewhat consistent with the Village Concept Plan, specifically, the proposed office use and proposed landscape buffer along Park Road. We recommend that the Township work with the applicant to ensure that the proposed development is aligned with the vision of the Village Concept Plan for that sub-area, especially, considering that 301 Park Road is identified as a historic resource (See comment #5 below).



***Comment acknowledged.***

2. The portion of the subject lot area is identified as protected lands on the Priority Areas for Preservation Map. The protected lands category includes lands owned and/or protected by public agencies, lands protected by Township ordinances (i.e., limiting and/or prohibiting development within floodplains, steep slopes, and riparian buffer areas), and any conservation easements. We recommend that the Township requests the applicant to detail this information on the plans. Community Trails Master Plan (2005)

***Awaiting township request to detail this information on the plans.***

3. Park Road is a part of the Park Road Multi Trail network as proposed in the Community Trails Master Plan (2005) that extends from Marsh Creek State Park to Pottstown Pike. The Township successfully completed the Park Road pedestrian bridge project to connect Park Road trail to Hickory Park. The proposed development is across the street from the trail; therefore, we recommend the Township evaluate any future needs for pedestrian crossing and/or other pedestrian amenities along Park Road at that location.

***At the December 8, 2022 Planning Commission meeting, the board agreed that sidewalks and crosswalks would not be necessary along the frontage of the property or leading to other adjacent developments.***

**Zoning Ordinance**

4. We recommend that the Township request the applicant to include the following details on the preliminary plan:
  - Proposed setbacks for all buildings and structures on the lot, including parking areas
  - Lot width
  - Existing and proposed impervious coverage
  - Zoning district information for neighboring parcels
  - Areas of wetlands and slopes classification
  - Location and extent of existing drainage easement area on subject lot
  - Any existing pedestrian amenities and features on adjacent properties
  - Any historic resources on subject property and adjacent lots (including across the roadways)
  - Any pedestrian amenities along lot frontage and adjacent lots (including across the roadways)
  - Location of gravel storage area
  - Size and extent of landscape buffer areas
  - Location and extent of loading and unloading areas (if applicable)
  - Pedestrian circulation within the subject lot
  - Number of proposed parking spaces and relevant calculations
  - Gross floor area of proposed office space and square footage of proposed garage
  - Screening design, including type, spacing and location of plant material to be used.

***The above items have been added to the plans.***

**Historic Resources**



5. It is our understanding that 301 Park Road (noted as #163) is classified as a historic resource on Upper Uwchlan Historic Map Update (2007) prepared by Wise Planning. We recommend that the Township work with the applicant and the Historical Commission to determine the extent of said historic resource and its potential for adaptive reuse and/or preservation.

***The dwelling on the subject property was constructed in 1958. We await comment from the township or Historical Commission if this property is to be considered a historic resource for preservation.***

#### Other Comments

6. The location of subject property on zoning insert map on sheet 1 is misrepresented. We strongly encourage correction to avoid any confusion.

***The location on the zoning map has been revised.***

7. We recommend the Township work with the applicant to verify the size of the subject property.

***The size of the subject property is listed as 137,147 SF or 3.15 Acres.***

#### VIII. TOWNSHIP SEWER CONSULTANT COMMENTS ARRO CONSULTING, INC.

1. The site is currently a single-family dwelling. Plans proposed the demolition of the existing single-family home and the construction of a one-story office building with associated garage bays. Based on discussions with the applicant's engineer, the building is to be occupied by 11 full-time employees and includes associated restrooms, a small kitchen break room and a shop sink in the garage area. We estimate the anticipated usage to be 225 gallons per day (GPD) or one equivalent dwelling unit (EDU). The required capacity will need to be purchased by the applicant. We recommend the Township reserve the right to review water usage in the future and require the purchase of additional sanitary sewer capacity if warranted.

***Comment acknowledged.***

2. A note shall be on the plan indicating: All sanitary sewer improvements must be provided and installed in accordance with the Upper Uwchlan Township Municipal Authority Technical Specifications for the Construction of Sewer Mains and Appurtenances to be connected to the public sewer system.

***The above note has been added to the plan.***

3. A note shall be on the plan indicating: Wastewater discharge shall be in compliance with the Regulations for the Discharge of Non-Residential Waste into the Upper Uwchlan Township Municipal Authority's Sewerage System, Resolution #10-20-04-15, dated October 20, 2004. The Township personnel and/or agents shall have access to site for implementation of this resolution.

***The above note has been added to the plan.***

4. A note shall be added to the plan that indicates that the existing on-lot septic system shall be decommissioned in accordance with the Chester County Health Department requirements.



***The above note has been added to the plan.***

5. The appropriate sewage facilities planning modules (SFPM) will need to be completed and submitted to the Township for review for ultimate approval by the Pennsylvania Department of Environmental Protection.

***The sewage facilities planning modules shall be submitted to the township for review soon.***

6. A sanitary sewer profile should be provided showing pipe, size, material, length, and slope.

***A sanitary sewer profile has been added to the plan.***

7. The following Standard Authority Details should be added to the plans:

- Lateral and Service Line
- Service Line Clean-out and Vent
- Trench Restoration Township Roads
- Trench Restoration Parking Areas and Driveways

***The above requested details have been added to the plan.***

8. An appropriately-sized oil and water separator shall be provided for the proposed shop sink.

***An oil and water separator has been added to the plan.***

9. The necessary financial security shall be posted with the Township, which shall be in a form and amount acceptable to the Township.

***We await township communication on the amount and form acceptable for the necessary financial security.***

10. Locations of the sewer line vent and trap and proposed clean out should be shown on the plan view. The Park Road Right-of-Way (R-O-W) line should be shown, such that the required service lateral clean-out can be located behind the R-O-W.

***The location of the sewer line vent and trap and the clean out have been added to the plan view and profile. The Park Road Right-of-Way line has been added to the plan.***



Should you have any questions or require additional information during the course of your review, please don't hesitate to contact me at 610-415-1220 or [msweeney@wknape.com](mailto:msweeney@wknape.com).

Very truly yours,

**Wilkinson & Associates, Inc.**

A handwritten signature in black ink that reads "Monica R. Sweeney". The signature is fluid and cursive, with "Monica" on the top line and "R. Sweeney" on the line below it.

Ms. Monica R. Sweeney, P.E.  
Project Engineer

**PENNSYLVANIA TURNPIKE I-76**  
(R.O.W. VARIES)

**REVIEWED BY THE TOWNSHIP ENGINEER**  
THIS SUBDIVISION AND LAND DEVELOPMENT PLAN WAS REVIEWED BY RESOLUTION OF THE TOWNSHIP COUNCIL OF UPPER UWCHLAN THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_  
TOWNSHIP ENGINEER

**PROFESSIONAL ENGINEER'S CERTIFICATION**  
I, A PENNSYLVANIA PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT THE SUBDIVISION AND LAND DEVELOPMENT PLAN, DRAWN AND COPIED, WITH ALL APPLICABLE REGULATIONS, INCLUDING BUT NOT LIMITED TO THE TOWNSHIP ZONING AND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, WILKINSON AREA ENGINEERING GROUP, LLC

**CERTIFICATION FOR RECORDING**  
THIS SUBDIVISION AND LAND DEVELOPMENT PLAN WAS RECORDED IN THE OFFICE OF RECORDER OF DEEDS FOR CHESTER COUNTY, PENNSYLVANIA THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_  
RECORDER OF DEEDS

**APPROVED BY THE TOWNSHIP OF UPPER UWCHLAN BOARD OF SUPERVISORS**  
THIS SUBDIVISION AND LAND DEVELOPMENT PLAN WAS APPROVED BY RESOLUTION OF THE TOWNSHIP BOARD OF SUPERVISORS OF UPPER UWCHLAN TOWNSHIP THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_  
H. J. SWEENEY, TOWNSHIP SUPERVISOR

**OWNER'S CERTIFICATION**  
I, HAVE Laid Out Upon Our Land Situated in THE TOWNSHIP OF UPPER UWCHLAN, COUNTY OF CHESTER, PENNSYLVANIA, LOTS AND STREETS ACCORDING TO THE ACCOMPANYING PLAN WHICH INTENDED TO BE FOR FORTH RECORD, WITNESS OUR HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_  
MONICA M. SWEENEY, OWNER

**APPROVED BY THE CHESTER COUNTY PLANNING COMMISSION**  
THIS SUBDIVISION AND LAND DEVELOPMENT PLAN WAS REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_  
WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_  
NOTARY PUBLIC (SEAL)

**WYOMING COUNTY PLANNING COMMISSION**  
THIS SUBDIVISION AND LAND DEVELOPMENT PLAN WAS REVIEWED BY THE WYOMING COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_  
WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_  
NOTARY PUBLIC (SEAL)

**PARKING TABULATION**  
OFFICE/WORKSTATION SERVICES = 5 SPACES PER 1,000 SF OF GFA  
SERVICE STATION/AUTO BODY REPAIR = 2 SPACES PER SERVICE BAY, PLUS 1 SPACE PER EMPLOYEE, PLUS 1 SPACE FOR EACH STORED VEHICLE  
3,900 SF OF OFFICE SPACE = 15 SPACES  
3 BAYS = 6 SPACES  
5 GARAGE EMPLOYEES = 5 SPACES  
TOTAL REQUIRED SPACES = 26  
HANDICAP SPACES = 2 SPACES FOR TOTAL PARKING 26 TO 50 SPACES  
TOTAL PARKING PROVIDED = 26 SPACES

**PERMANENT OUTDOOR STORAGE**  
STORAGE & BUILDING COVERAGE = 8,400 SF / 2 = 4,200 SF  
OUTDOOR STORAGE AREA = 3,570 SF  
NO FUEL OR OTHER EXPLOSIVE MATERIALS WILL BE STORED ON SITE

**LI LIMITED INDUSTRIAL ZONING DISTRICT**  
THE INTENDED USE FOR THE SITE WILL BE BOTH OFFICE AND GARAGE/SERVICE STATION FOR P.J. REILLY CONTRACTING CO., INC.

**EXISTING FEATURES LEGEND**  
NOTE: ALL ITEMS SHOWN IN LEGEND MAY NOT NECESSARILY APPEAR ON THIS PLAN

**PROPOSED FEATURES LEGEND**  
NOTE: ALL ITEMS SHOWN IN LEGEND MAY NOT NECESSARILY APPEAR ON THIS PLAN

**RECORD PLAN SHEET 1 OF 2**

**GRAPHIC SCALE**  
1 INCH = 30 FEET

**WILKINSON & ASSOCIATES, INC.**  
THE COMMONS AT VALLEY FORGE  
1220 VALLEY FORGE ROAD  
SUITE 22  
PHOENIXVILLE, PA 19460  
PHONE (610) 415-1220  
FAX (610) 415-1224

**DESIGNED BY**  
MRS  
**CHECKED (P.M.)**  
MRS  
**DATE**  
11/01/2022  
**DRAWING #**  
4  
**AS SHOWN**

**NOTES**  
1. NO TOPSOIL SHALL BE DISPOSED OF, BY SALE OR OTHERWISE, OFF THE CONSTRUCTION SITE.

**PAONECALL**  
Dial 8-1-1 or 1-800-242-1776 not less than 3 business days prior to the start of excavation  
Coordinate your projects via Coordinate PA at [www.paonecall.org](http://www.paonecall.org)  
Pennsylvania One Call System Serial Number

**PROJECT**  
PROPOSED HEADQUARTERS BUILDING  
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

**PLAN TITLE**  
PRELIMINARY LAND DEVELOPMENT PLAN  
SITE LAYOUT PLAN

**PREPARED FOR**  
P.J. REILLY CONTRACTING CO., INC.  
557 W. UWCHLAN AVENUE, SUITE 220  
EXTON, PA 19341

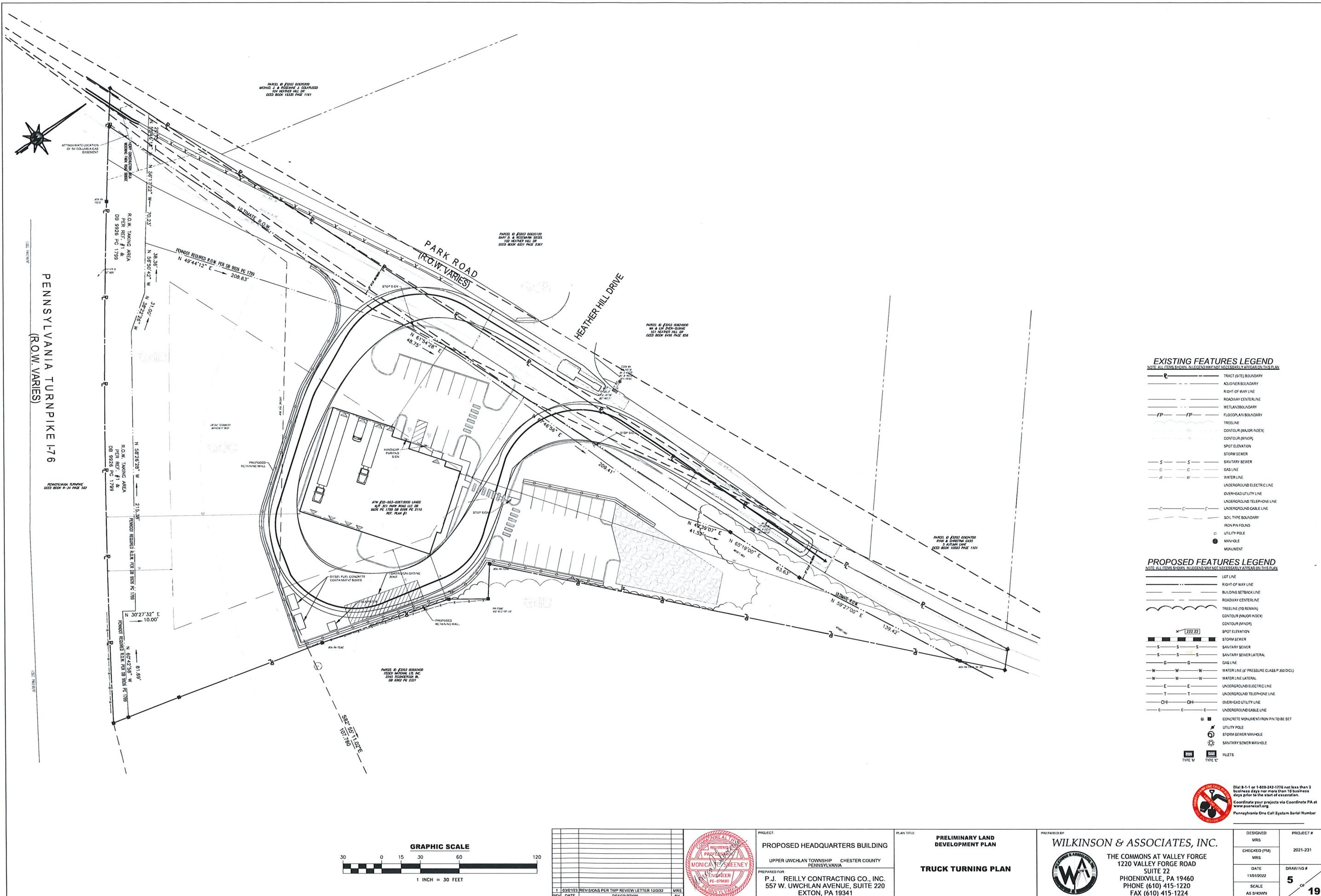
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03/01/23

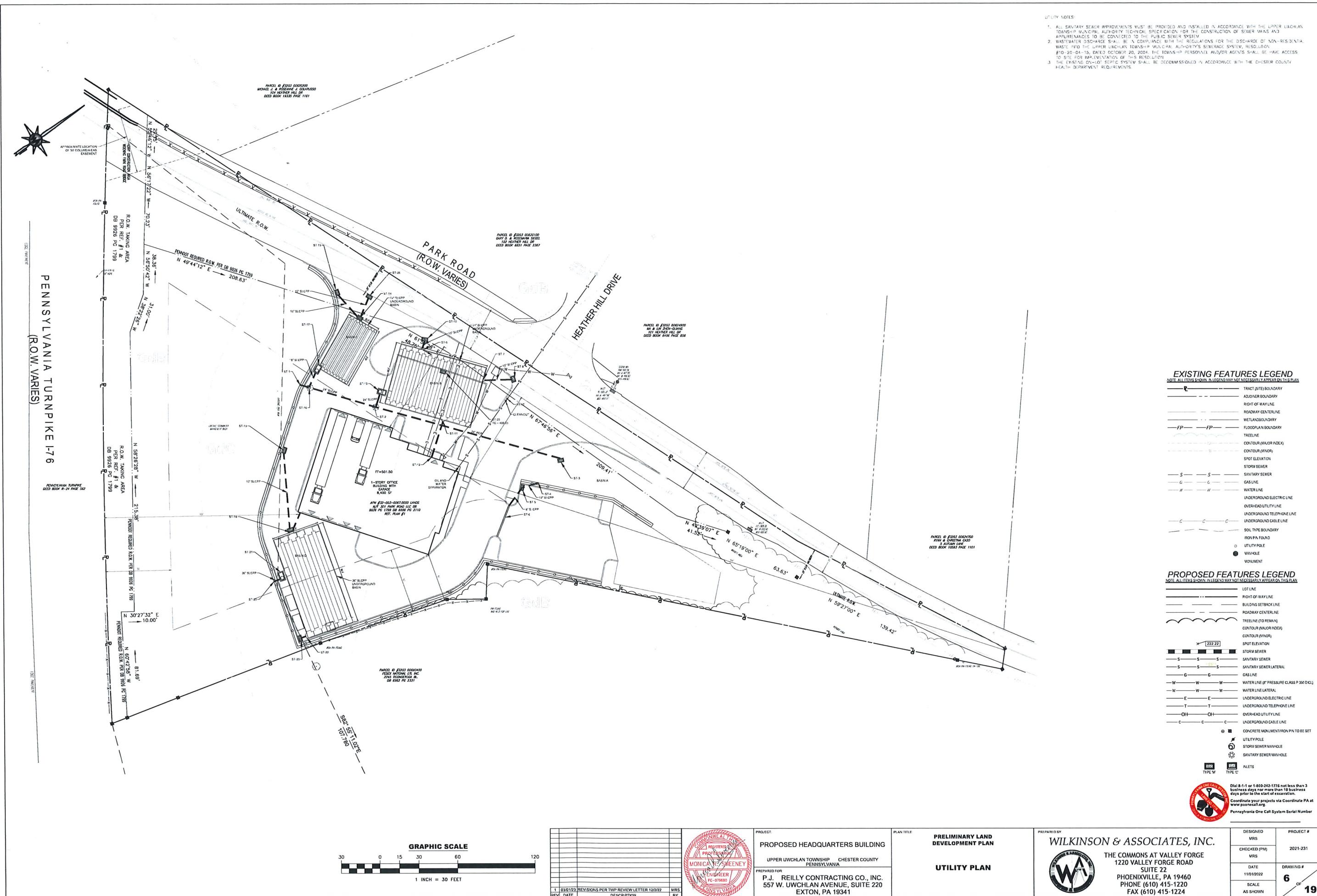
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REVISIONS PER TWP. REVIEW LETTER 12/22

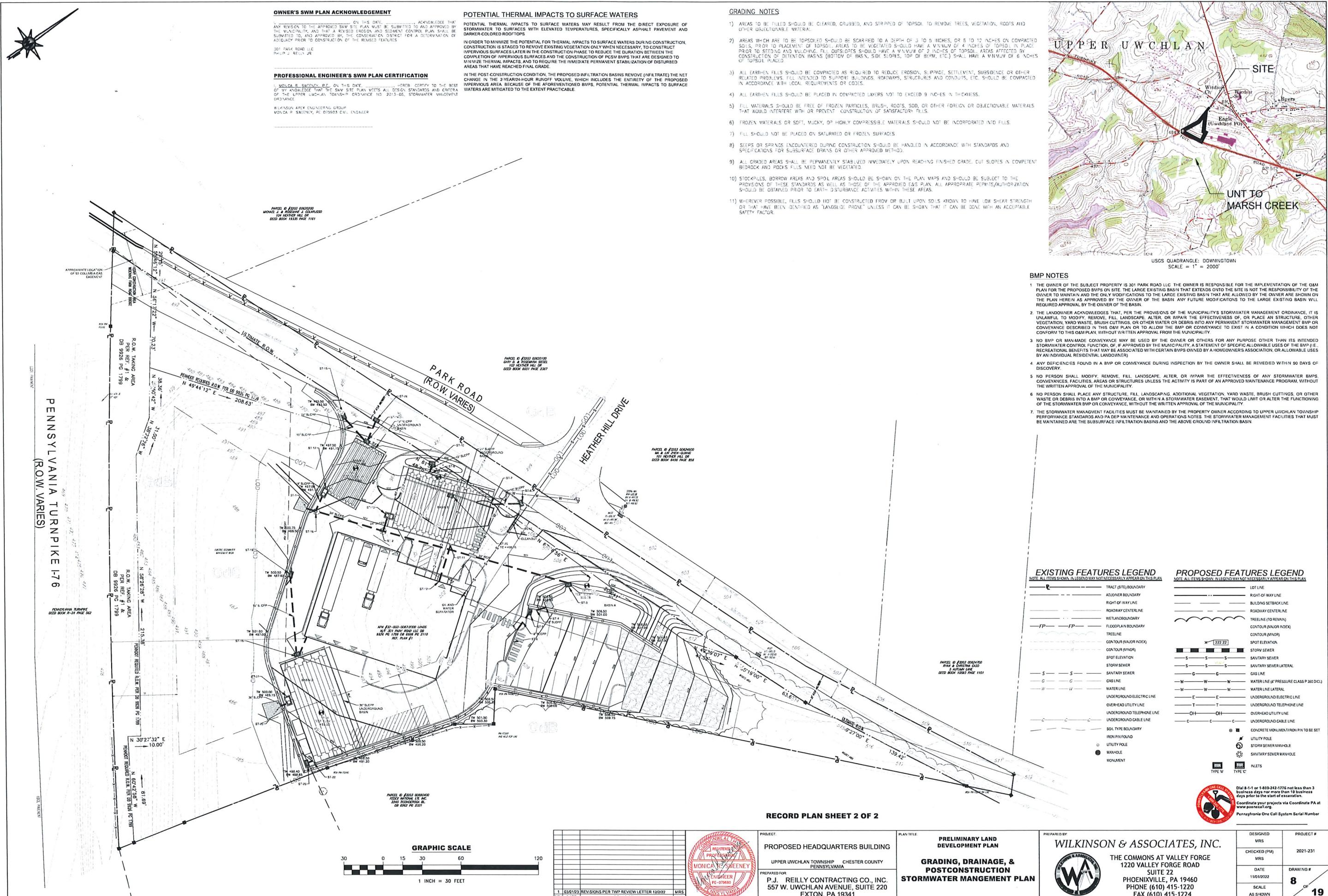
**BY**  
MRS

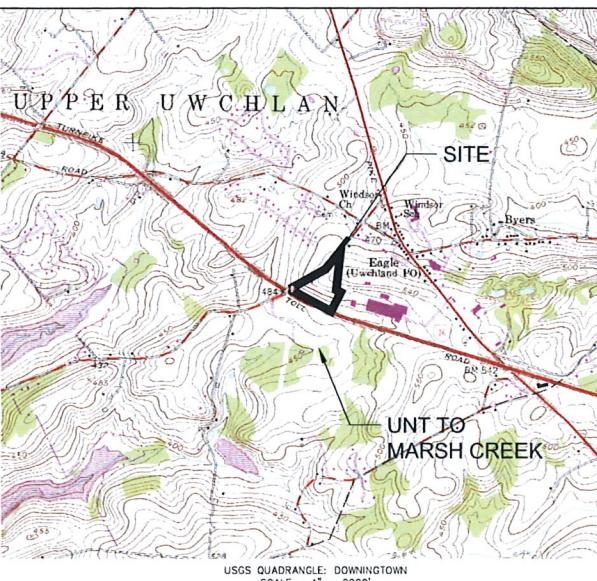
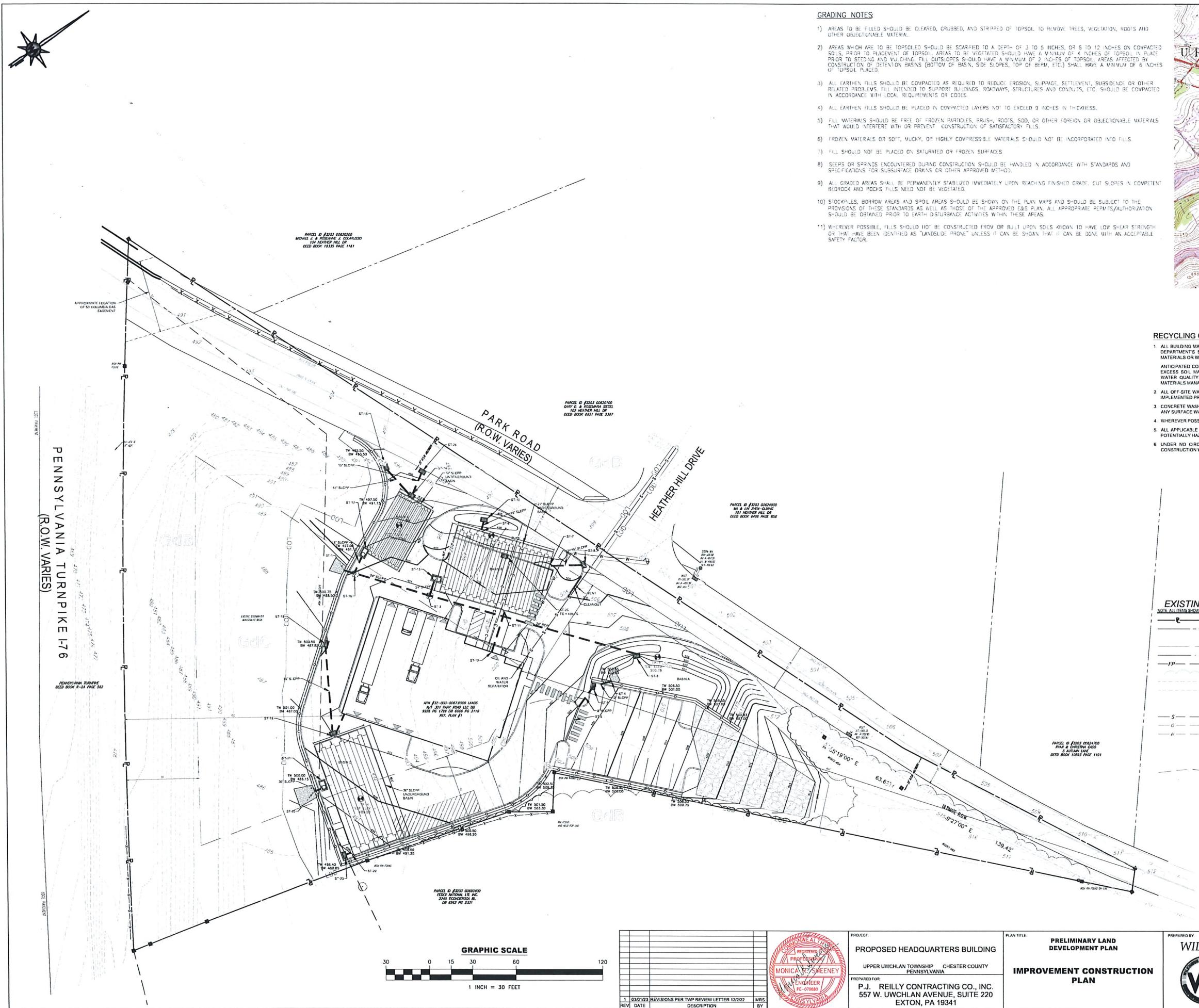
**MONICA M. SWEENEY**  
TOWNSHIP SUPERVISOR  
WILKINSON & ASSOCIATES, INC.

**WILKINSON & ASSOCIATES, INC.**  
THE COMMONS AT VALLEY FORGE  
1220 VALLEY FORGE ROAD  
SUITE 22  
PHOENIXVILLE, PA 19460  
PHONE (610) 415-1220  
FAX (610) 415-1224









GRADING NOTES:

- 1) AREAS TO BE FILLED SHOULD BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- 2) AREAS WHICH ARE TO BE TOPSOILED SHOULD BE SCARFED TO A DEPTH OF 3 TO 5 INCHES, OR 5 TO 12 INCHES ON COMPACTED SOILS, PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHOULD HAVE A MINIMUM OF 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND YIELDING. FULL CUTS, SPACES, SHOULD HAVE A MINIMUM OF 2 INCHES OF TOPSOIL. AREAS AFFECTED BY CONSTRUCTION OF DETENTION BASINS (BOTTOM OF BASIN, SIDE SLOPES, TOP OF BMP, ETC.) SHALL HAVE A MINIMUM OF 6 INCHES OF TOPSOIL PLACED.
- 3) ALL EARTHEN FILLS SHOULD BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, ROADWAYS, STRUCTURES AND CONDUITS, ETC. SHOULD BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 4) ALL EARTHEN FILLS SHOULD BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS.
- 5) FILL MATERIALS SHOULD BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- 6) FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHOULD NOT BE INCORPORATED INTO FILLS.
- 7) FILL SHOULD NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 8) SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHOULD BE HANDLED IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS FOR SUBSURFACE DRAINS OR OTHER APPROVED METHOD.
- 9) ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCKS FILLS NEED NOT BE VEGETATED.
- 10) STOCKPILES, BORROW AREAS AND SPUD AREAS SHOULD BE SHOWN ON THE PLAN MAPS AND SHOULD BE SUBJECT TO THE PROVISIONS OF THESE STANDARDS AS WELL AS THOSE OF THE APPROVED E&M PLAN. ALL APPROPRIATE PERMITS/AUTHORIZATION SHOULD BE OBTAINED PRIOR TO EARTH DISTURBANCE ACTIVITIES WITHIN THESE AREAS.
- 11) WHEREVER POSSIBLE, FILLS SHOULD NOT BE CONSTRUCTED FROM OR BUILT UPON SOLS KNOWN TO HAVE LOW SHEAR STRENGTH OR THAT HAVE BEEN IDENTIFIED AS "Landslide Prone" UNLESS IT CAN BE SHOWN THAT IT CAN BE DONE WITH AN ACCEPTABLE SAFETY FACTOR.

#### **RECYCLING OR DISPOSAL OF WASTE MATERIALS**

1. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENTS SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. ANTICIPATED CONSTRUCTION WASTES, BUILDING MATERIALS AND OTHER CONSTRUCTION SITE WASTES, INCLUDING BUT NOT LIMITED TO EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY, MEASURES SHOULD BE PLANNED AND IMPLEMENTED BY THE PERMITTEE OR CO-PERMITTE FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL.
2. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN EAS PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR DEP FULLY APPROVED PRIOR TO BEING ACTED.
3. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED IN THESE NOTES. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS, GROUNDWATERS SYSTEMS OR STORM SEWER SYSTEMS.
4. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.
5. ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS MUST BE FOLLOWED IN THE USE, HANDLING, AND DISPOSAL OF POTENTIALLY HAZARDOUS MATERIALS.
6. UNDER NO CIRCUMSTANCES MAY EROSION CONTROL BMP'S BE USED FOR TEMPORARY STORAGE OF DEMOLITION MATERIALS OR CONSTRUCTION WASTES.

### EXISTING FEATURES LEGEND

NOTE: ALL ITEMS SHOWN IN LEGEND MAY NOT NECESSARILY APPEAR ON THIS PLAN.

This legend provides a key for interpreting utility map symbols. It includes:

- BOUNDARIES:** TRACT (STATE) BOUNDARY, ADJACENT BOUNDARY, RIGHT-OF-WAY LINE, ROADWAY CENTERLINE, WETLAND BOUNDARY.
- MAP FEATURES:** FLOODPLAIN BOUNDARY, TREELINE.
- INDEXES:** CONTOUR (MAJOR INDEX), CONTOUR (MINOR).
- ELEVATION:** SPOT ELEVATION.
- SEWERAGE:** STORM SEWER, SANITARY SEWER.
- UTILITY LINES:** GAS LINE, WATER LINE, UNDERGROUND ELECTRIC LINE, OVERHEAD UTILITY LINE, UNDERGROUND TELEPHONE LINE.
- SOILS:** SOIL TYPE BOUNDARY.
- MARKERS:** IRON PIN FOUND, UTILITY POLE, MANHOLE.
- OTHER:** FP (representing a feature point).

#### PROPOSED FEATURES LEGEND



1 or 1-800-242-1776 not less than 3 days nor more than 10 business or to the start of excavation. State your projects via Coordinate PA at onecall.org. Pennsylvania One Call System Serial Number

PROJECT: **PROPOSED HEADQUARTERS BUILDING**

UPPER UYCHLAN TOWNSHIP    CHESTER COUNTY  
PENNSYLVANIA

PREPARED FOR: **P.J. REILLY CONTRACTING CO., INC.**  
**557 W. UYCHLAN AVENUE, SUITE 220**  
**EXTON, PA 19341**



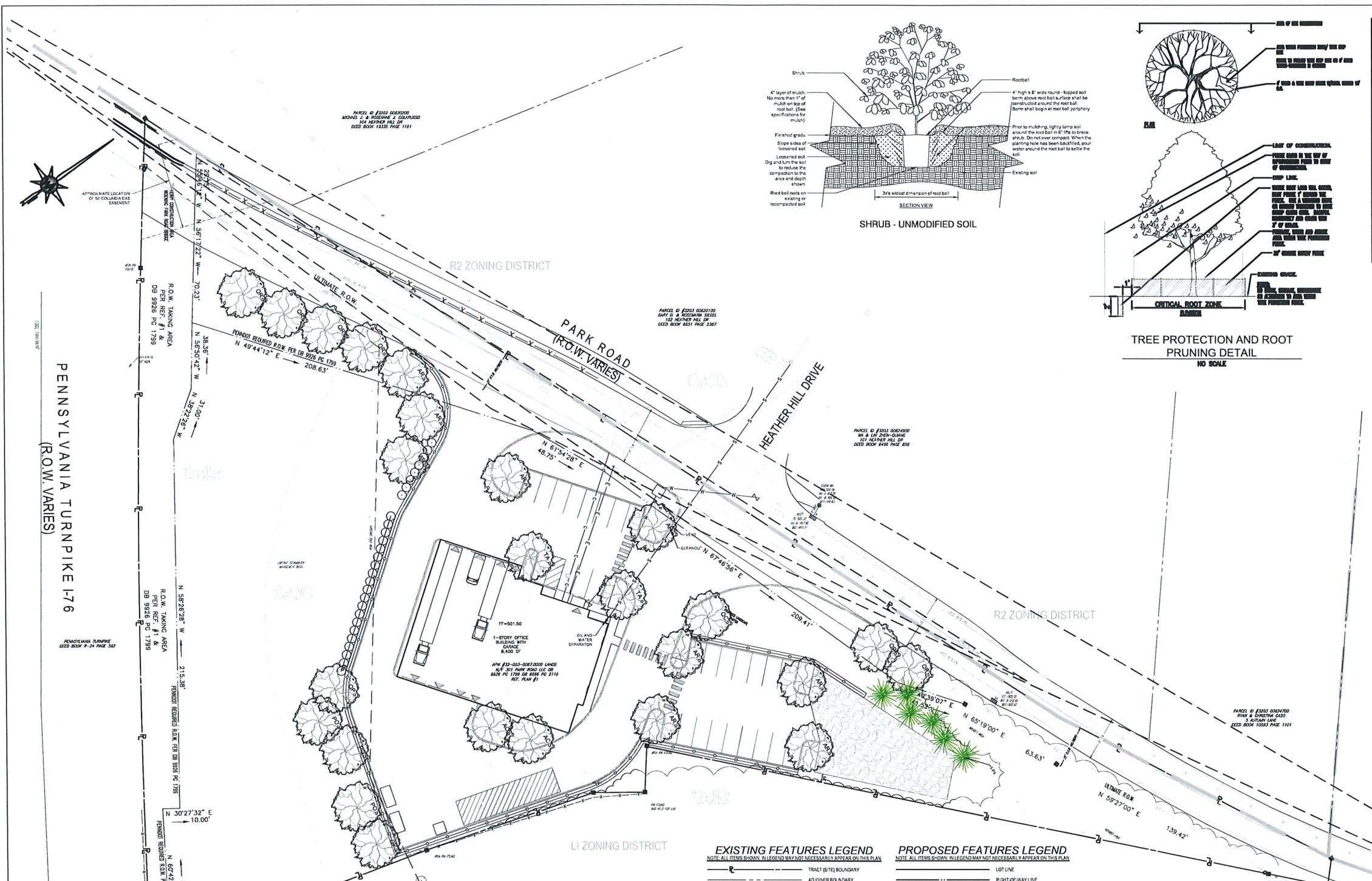
PLAN TITLE:	<b>PRELIMINARY LAND DEVELOPMENT PLAN</b>
<b>IMPROVEMENT CONSTRUCTION PLAN</b>	

PREPARED BY

**WILKINSON & ASSOCIATES, INC.**

THE COMMONS AT VALLEY FORGE  
1220 VALLEY FORGE ROAD  
SUITE 22  
PHOENIXVILLE, PA 19460  
PHONE (610) 415-1220  
FAX (610) 415-1224

DESIGNED MRS	PROJECT # 2021-231
CHECKED (PM) MRS	
DATE 11/01/2022	DRAWING #
SCALE AS SHOWN	11 OF 19



Key	Qty.	Species	Size	Root
Trees				
AC	2	Serviceberry (Amelanchier canadensis)	3.5" cal. Min	B&B
AR	9	Red Maple (Acer rubrum)	3.5" cal. Min	B&B
PS	5	White Pine (Pinus strobus)	3.5" cal. Min	B&B
PO	3	Platanus occidentalis (Sycamore)	3.5" cal. Min	B&B
QC	1	Scarlet Oak (Quercus coccinea)	3.5" cal. Min	B&B
QP	2	Pin Oak (Quercus palustris)	3.5" cal. Min	B&B
QR	4	Red Oak (Quercus rubra)	3.5" cal. Min	B&B
TA	2	American Basswood (Tilia americana)	3.5" cal. Min	B&B
Shrubs				
IV	18	Winterberry (Ilex verticillata)	36" ht. min	As Available
PR	6	Black Cherry (Prunus serotina)	36" ht. min	As Available
VD	3	Arrowwood Viburnum (Viburnum dentatum)	36" ht. min	As Available

LANDSCAPE COMPLIANCE CHART			
	DECIDUOUS	EVERGREEN	SHRUBS
PER 1,000 SF OF GROSS BUILDING AREA	18	9	72
PER 2,000 SF OF OFF STREET PARKING	28	14	53
PER 100 LF OF NEW/EXISTING ROAD FRONTAGE	20	10	50
PER 100 LF OF EXISTING TRACT BOUNDARY	13	26	104
TREE REPLACEMENTS TOTAL	11	-	-
TOTAL REQUIRED	90	59	279
TOTAL PROVIDED	23	5	27

TREE REPLACEMENT REQUIREMENTS		
CALIPER OF TREES TO BE REMOVED	QUANTITY TO BE REMOVED	REPLACEMENT REQUIREMENT
6"	1	1 3-3.5"
8"	2	2 3-3.5"
9"	1	1 4-4.5"
10"	2	2 4-4.5"
12"	1	1 4-4.5"
13"	1	2 3-3.5"
18"	1	2 3-3.5"
24"	2	5 3-3.5"

BASIN INTERIOR SEED MIX - DISTURBED AREA ONLY		
30.0% PANICUM CLADODELIUM, Tioga (DEERTONGUE, Tioga)		
29.5% CAREX VULPINOIDEA, PA ECO TYPE (FOX SEDGE, PA ECO TYPE)		
20.0% ELYMUS VIRGINICUS, MADISON-HY ECO TYPE (VIRGIN WILDFR, MADISON-HY ECO TYPE)		
7.0% CAREX LURIDA, PA ECO TYPE (LURID SEDGE, PA ECO TYPE)		
7.0% Carex Vernalis, (BLUNT BROAD SEDGE, PA ECO TYPE)		
3.0% VERBENA hastata, PA ECO TYPE (BLUE Vervain, PA ECO TYPE)		
1.5% JUNCUS EFFUSUS (SOFT RUSH)		
0.5% AGROSTIS PERENNANS, ALCYONE BINE BUSH-NY ECO TYPE (AUTUMN BENTGRASS, ALCYONE BINE BUSH-NY ECO TYPE)		
0.5% ASCLEPIAS CARVALHOI, PA ECO TYPE (SWAMP MILKWEED, PA ECO TYPE)		
0.3% SCIRpus CYPERINUS, PA ECO TYPE (WATER Sedge, PA ECO TYPE)		
0.2% HELENIUM AUTUMNALE, PA ECO TYPE (CONEFLY SNEEZEWEE, PA ECO TYPE)		
0.1% Carex Vernalis, (BLUNT BROAD SEDGE, PA ECO TYPE)		
0.1% ASTER PUNCEUS, PA ECO TYPE (PURPLELEAF ASTER, PA ECO TYPE)		
0.1% EUPATORIUM PERfoliatum, PA ECO TYPE (BONSET, PA ECO TYPE)		
0.1% LOBLAILIA S. PHILIPPI, PA ECO TYPE (GREAT BLUE LOBLAILIA, PA ECO TYPE)		

SEEDING RATE: 20 LBS PER ACRE, OR 0.5-1 LB./1,000 SQ FT WITH A COVER CROP. FOR A COVER CROP USE ONE OF THE FOLLOWING: GRAN RYE (1 SEP TO 30 APR, 30 LBS/ACRE), JAPANESE MILLET (1 MAY TO 31 AUG, 10 LBS/ACRE), OR RAYNARD GRASS (1 MAY TO 31 AUG, 10 LBS/ACRE).

#### LANDSCAPE NOTES:

1. ALL PLANT MATERIAL SHALL MEET THE HEIGHT, SPREAD AND/OR CALIPER FOR TREES AND SHRUBS LISTED IN THE TOWNSHIP'S RECOMMENDED PLANT LIST.
2. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS OUTLINED IN THE TOWNSHIP'S SALDO AND THE DETAILS INCLUDED IN THESE PLANS.
3. THE DEVELOPER SHALL CONTACT THE TOWNSHIP IN WRITING TO REQUEST A FINAL INSPECTION FOR ACCEPTANCE AT THE END OF THE GUARANTEE PERIOD.
4. STREET TREES SHALL HAVE ALL MAIN BRANCHES PRUNED TO A CLEARANCE HEIGHT OF EIGHT FEET ABOVE THE GROUND. STREET TREES SHALL HAVE A SINGLE, STRAIGHT TRUNK AND CENTRAL LEADER AND SHALL FREE OF DISEASE AND MECHANICAL DAMAGE.
5. PLANT MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE FOLLOWING PLANTING STANDARDS AND GUIDELINES AS FOLLOWS:

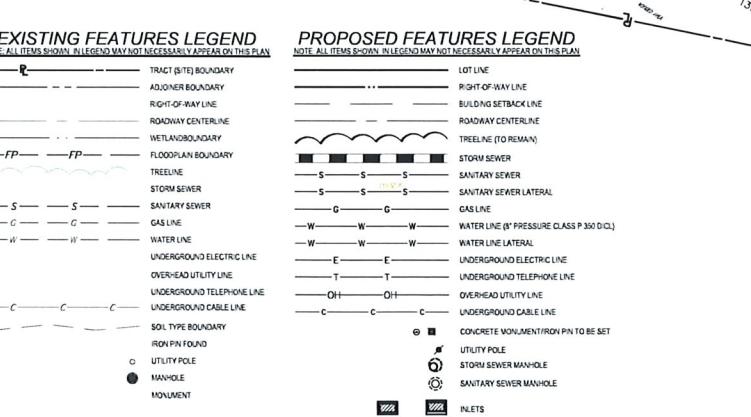
  - QUALITY: ALL PLANTS SHALL BE THICKS OF THE SPECIES OR VARIETY; THEY SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS FIBROUS ROOT SYSTEMS AND BE FREE.
  - PRUNING: TREES SHALL BE PRUNED AFTER PLANTING OR BY THE NURSERYMAN AT THE TIME OF DIGGING TO REMOVE DEAD, DAMAGED OR CROSSING BRANCHES, AND TO PRESERVE THEIR NATURAL CHARACTER AND SHAPE. PRUNING SHALL BE RESTRICTED IN GENERAL TO THE SECONDARY BRANCHES AND SOFT AND SUCKER GROWTH AND SHALL BE CONDUCTED IN ACCORDANCE WITH RECOGNIZED HORTICULTURAL PRACTICES.
  - REMOVAL OF ALL PLANTING DEBRIS: REMOVAL OF ALL DEBRIS IS REQUIRED. THE PROPERTY MUST BE LEFT IN A NEAT AND ORDERLY CONDITION IN ACCORDANCE WITH GOOD AND ACCEPTED PLANTING PRACTICES.
  - GUARANTEE: (A) ALL PLANT MATERIAL SHALL BE GUARANTEED FOR 18 MONTHS FROM THE DAY OF FINAL APPROVAL OF THE LANDSCAPE INSTALLATION BY THE TOWNSHIP. (B) ANY DEAD PLANT MATERIAL SHALL BE REPLACED AND INSTALLED ACCORDING TO THE APPROVED PLANTING PRACTICES.
  - 6. SUBSTANTIAL CHANGES TO THE APPROVED LANDSCAPE PLANS MUST BE APPROVED BY THE TOWNSHIP THROUGH PLAN RESUBMISSION. IF SUBSTANTIAL CHANGES TO THE LANDSCAPE ARE MADE WITHOUT PRIOR APPROVAL FROM THE TOWNSHIP, THE CHANGES WILL BE REJECTED UPON INSPECTION.
  - 7. IF A PLANT SPECIES OR OTHER SUBSTITUTION IS MADE WITHOUT RECEIVING PRIOR SUBSTITUTION REQUEST APPROVAL FROM THE TOWNSHIP, THE UNAPPROVED PLANTS MAY BE REJECTED UPON INSPECTION. ALL PLANT SUBSTITUTION REQUESTS SHOULD BE FORWARDED IN WRITING TO THE TOWNSHIP LANDSCAPE ARCHITECT FOR REVIEW.
  - 8. MAINTENANCE OF THE VEGETATION SHOULD BE CONDUCTED ACCORDING TO THE FOLLOWING:

• FIRST GROWING SEASON MAINTENANCE - whenever canopy (overall vegetation) reaches a height of 18"-24" use a power or string trimmer to trim the meadow to a height of 8". THIS WILL REDUCE COMPETITION BY FAST-GROWING WEEDS FOR SUNLIGHT, WATER, AND NUTRIENTS NEEDED BY SLOW-GROWING, PERENNIAL NATIVES. MOWING SHOULD NOT BE DONE WITH A LAWN MOWER AS THE MOWER HEIGHT WILL BE TOO LOW AND NATIVE SEEDLINGS WILL BE KILLED. IF BIOCNGERING OR CONTANIZED WOODY MATERIALS ARE USED ON THE SITE, MOWING SHOULD BE ABOVE THE NEW GROWTH OF THESE MATERIALS. MOWING SHOULD CEASE BY MID-SEPTEMBER. PROBLEM WEEDS SHOULD BE SPOT SPRAYED WITH AN APPROVED HERBICIDE OR HAND PULLED.

• SECOND AND SUBSEQUENT GROWING SEASON - PRIOR TO NEW SPRING GROWTH REACHING A HEIGHT OF 2" (i.e., shortly after forsythia or redbud bloom), trim any material standing from the previous year close to the ground (approximately 2"). THIS WILL ALLOW THE SOIL TO WARM MORE QUICKLY WHICH WILL STIMULATE EMERGENCE AND GROWTH OF NATIVE SEEDLINGS. IT WILL ALSO REDUCE THE LIKELIHOOD OF MEADOW BEING INVADED BY SHRUBS IF BIOCNGERING OR CONTANIZED WOODY MATERIALS WERE USED ON THE SITE OR SEEDS OF SHRUBS/TREES WERE PART OF THE MIX. THE SITE SHOULD NOT BE TRIMMED AFTER THE ESTABLISHMENT YEAR. PROBLEM WEEDS SHOULD BE SPOT SPRAYED OR HAND PULLED.

• SPECIAL CIRCUMSTANCES SECOND GROWING SEASON - IF YOU NOTICE A HEAVY INFESTATION OF PACKED OR FOLIAL IN THE SECOND GROWING SEASON, TRIM THE MEADOW TO A HEIGHT OF 8". IF BIOCNGERING OR CONTANIZED WOODY MATERIALS WERE USED, TRIMMING SHOULD BE ABOVE OR AROUND NEW GROWTH OF THE PLANTS. TRIMMING SHOULD CEASE AFTER MID-SEPTEMBER.

• GENERAL MAINTENANCE - IN ADDITION TO STRUCTURAL MAINTENANCE, SILENTATION NEEDS TO BE REMOVED AS NEEDED. CLOSE MOWING OR EXTENSIVE CHEMICAL USE IS NOT CONDUCIVE TO WATER QUALITY IMPROVEMENT AND WILDLIFE HABITAT.



PROJECT:	PROPOSED HEADQUARTERS BUILDING	
PLAN TITLE:	PRELIMINARY LAND DEVELOPMENT PLAN	
PREPARED FOR:	WILKINSON & ASSOCIATES, INC.	
THE COMMONS AT VALLEY FORGE		
1220 VALLEY FORGE ROAD		
SUITE 22		
PHOENIXVILLE, PA 19460		
PHONE (610) 415-1220		
FAX (610) 415-1224		

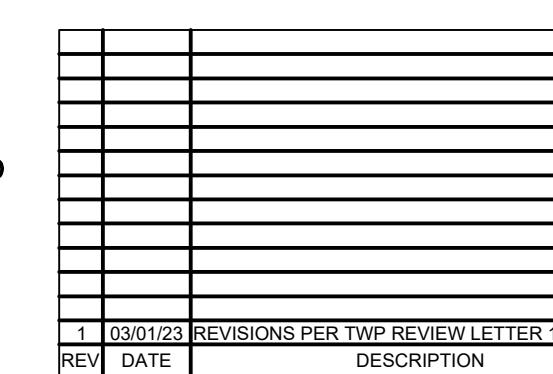
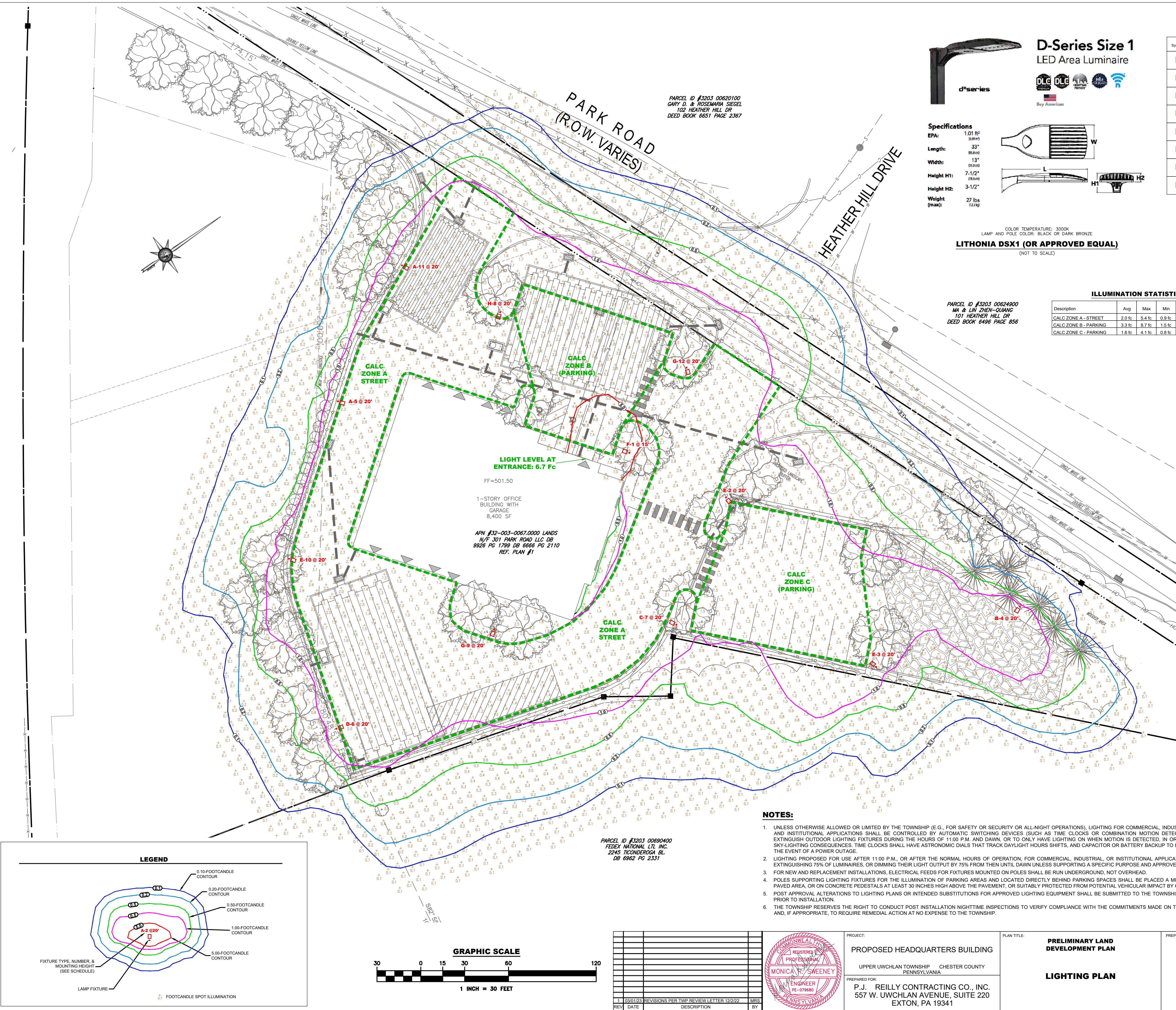
REVISIONS PER TWP REVIEW LETTER 12/22 MRS BY

1 03/01/23 REV DATE 03/01/23 DESCRIPTION MRS BY

1 03/01/23 REV DATE 03/01/23 DESCRIPTION MRS BY

1 03/01/23 REV DATE 03/01/23 DESCRIPTION MRS BY

DESIGNED	MRS
CHECKED (PM)	MRS
DATE	11/01/2022
SCALE	12 OF 19



PROJECT: PROPOSED HEADQUARTERS BUILDING  
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA  
PREPARED FOR: P.J. REILLY CONTRACTING CO., INC.  
557 W. UWCHLAN AVENUE, SUITE 220  
EXTON, PA 19341

PLAN TITLE: PRELIMINARY LAND DEVELOPMENT PLAN  
LIGHTING PLAN

PREPARED BY: WILKINSON & ASSOCIATES, INC.  
THE COMMONS AT VALLEY FORGE  
1220 VALLEY FORGE ROAD  
SUITE 22  
PHOENIXVILLE, PA 19460  
PHONE (610) 415-1220  
FAX (610) 415-1224

DESIGNED MRS	PROJECT #
CHECKED (PM) MRS	2021-231
DATE 11/01/2022	DRAWING #
SCALE AS SHOWN	13 OF 19



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

March 3, 2023

File No. 23-01086

VIA E-MAIL ONLY

Mr. Tony Scheivert  
Upper Uwchlan Township Manager  
140 Pottstown Pike  
Chester Springs, PA 19425

Reference: Eagleview Lot 1A –The Hankin Group  
Proposed Flex Use Building Development  
Preliminary Land Development Application  
Upper Uwchlan Township, Chester County, PA

Dear Tony:

Gilmore & Associates, Inc. (G&A) is in receipt of the following documents:

- Letter from Chester Valley Engineers to Upper Uwchlan Township dated February 2, 2023 outlining submitted items.
- Subdivision / Land Development Application with both Preliminary and Final Submittal indicated, signed February 2, 2023.
- Plan set consisting of twenty (20) sheets titled “Preliminary / Final Land Development Plan Eagleview Lot 1A,” prepared by Chester Valley Engineers, Inc. and dated February 2, 2023.
- Post Construction Stormwater Management Report for Eagleview Corporate Lot 1A, prepared by Chester Valley Engineers, Inc. and dated February 2, 2023.
- Act 247 County Referral dated February 2, 2023.
- Letter Report / Traffic Analysis prepared by Traffic Planning and Design, Inc. dated January 23, 2023.

BUILDING ON A FOUNDATION OF EXCELLENCE

184 W. Main Street | Suite 300 | Trappe, PA 19426  
Phone: 610-489-4949 | Fax: 610-489-8447  
[www.gilmore-assoc.com](http://www.gilmore-assoc.com)

Mr. Tony Scheivert  
Upper Uwchlan Township Manager

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Reference: Eagleview Lot 1A –The Hankin Group  
Proposed Flex Use Building Development  
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- Sewage Facilities Planning Module Mailer (exception request), prepared by Evans Mill Environmental, LLC.

G&A, along with the other Township Consultants, have completed our first review of the above referenced land development application for compliance with the applicable sections of the Township's Zoning, Subdivision and Land Development, and Stormwater Management Ordinance, and wish to submit the following comments for your consideration.

Comments preceded by an **(RW)** indicates the applicant is requesting a waiver from compliance with this item.

## **I. OVERVIEW**

The site is 13.645 acres in size and contains woodlands, a stream and wetlands. The site has access from Arrowhead Drive and is located within the PI (Planned Industrial / Office) Zoning District.

The Applicant is proposing to construct a one-story, 60,600 SF Flex Use office / warehouse building as well as paved access drives, parking areas, retaining walls and stormwater management. One (1) underground infiltration basin and one (1) above ground infiltration basin are proposed to manage the post construction runoff.

## **II. ZONING ORDINANCE REVIEW**

1. Sections 200-35, 200-51 and 200-81.B. – Public sewer and public water are required when available; the plans propose a connection to an existing public sewer and water.
2. Section 200-49.I – A laboratory for scientific research and development is an allowable use. General Note #6 states that a Research and Development use building is proposed.
3. Section 200-50.C – A minimum of 5% of the total net tract area must be set aside for any active or passive recreation. The applicant has provided the requisite area of land; however, it should be indicated how the area can be accessed.

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4. Section 200-50.E – There is reference to “15.1 or more acres” in the Maximum Building and Lot Coverage. There are no longer different tiers of building and impervious surface coverages in this zoning district. Therefore, this reference should be eliminated. Also, verify the total acreage of lot coverage as the total per the stormwater report is slightly higher than in the Zoning table on Sheet 2.
5. Section 200-73.B(3) – Pedestrian paths shall be provided from all parking areas to the entrances of buildings. Pedestrian walks crossing any parking and driveway aisles shall be delineated by either stripes or a different paving material. Show pedestrian paths on the plans.
6. Section 200-73.E – The required number of parking spaces is provided, as well as an additional 28 “Future Parking” spaces on the plan view and “Reserved Parking” in the parking tabulation table. The Applicant should indicate the reason for the need for these potential additional spaces.
7. Sections 200-74.A(2) and 200-77 – Loading facilities shall be properly screened. We defer to Brandywine Conservancy regarding landscaping review.
8. Sections 200-107.D(2) and (3) – Please show the steep slope shading on the Grading Plans. The Site Analysis Table on Sheet 3 indicates that the on-site areas of both the precautionary and the prohibitive steep slopes will be disturbed. Part of the building, parking areas, retaining wall, and associated grading are in steep slope areas, which is not permitted and shall be clarified/indicated on the plans. Please clarify which areas being considered “manmade” steep slopes and which are being considered naturally occurring.

### **III. SUBDIVISION & LAND DEVELOPMENT ORDINANCE REVIEW**

1. **(RW)** Sections 162-7.B.(2), 162-8.B and 162-8.C(1) – The applicant is seeking a waiver to permit concurrent approval of preliminary and final land

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development plans. We have no objection to this request. The list of waivers request on Sheet 2 should be revised to reflect these sections.

2. Sections 162-9.B(1)(h), 162-9.B(2)(d)[2] and 162-9.E – Provide a preliminary conservation plan, prepared in accordance with the requirements in 162-9.E.
3. Section 162-9.B(2)(b)[7] – Total tract boundaries showing bearings and distances and along all existing rights-of-way within and adjacent to the tract shall be prepared and certified by a registered professional land surveyor. Clarify if the Certification of Accuracy on Sheet 2 is to be signed by registered professional land surveyor.
4. Sections 162-9.B(2)(d)[4] and 162-9.G – Please provide a will serve letter from AQUA.
5. Section 162-36.B – Any disturbance of Arrowhead Drive paving will require pavement restoration to the specifications in this section. Please revise Demolition Specification D2 to reference this section.
6. **(RW)** Section 162-41.G – Where sidewalks abut the curb and a building, wall or other permanent structure, a premolded expansion joint 1/4 inch in thickness shall be placed between curb and the sidewalk for the full length of such structure. Sidewalks shall be constructed in separate slabs 30 feet in length except for closures. The slabs between expansion joints shall be divided into blocks five feet in length by scoring transversely. The applicant is requesting a waiver from this section. We are not sure a waiver is needed, but to the extent it is, we have no objection to its granting.
7. Section 162-52 – No topsoil shall be disposed of, by sale or otherwise, off the site of the construction. Please add General Erosion & Sediment Control Note #5 to the Record Plan.
8. **(RW)** Section 162-55.B – A waiver has been requested from this section but it is not clear specifically what is being requested. Plans shall be revised to demonstrate compliance with all applicable requirements in this section or an indication of what sections relief is being sought from. The Site

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Analysis Table on Sheet 3 indicates 6.25 acres of woodland area is proposed to be disturbed; clarify the area of removal vs. disturbance.

9. Section 162-55.F – Show the steep slopes on the Grading Plan, Sheet 5.
10. Section 162-58.C(1) – Calculation summary provided on Sheet 19 of 20 indicates a minimum light level of 0.3 footcandles. Levels of 0.2 are noted in the parking spaces (plan north), bringing into question the accuracy of the information provided in the calculation summary chart. Information shall be verified/revised. Parking areas shall be in accordance with IES RP-8-21 V2.
11. Section 162-58.C(1) – Building Entrance light levels are not provided. Levels shall be in accordance with IES RP-43-22.
12. Section 162-58.C(1) – Sidewalk light levels are not provided. Levels shall be in accordance with IES RP-43-22.
13. Section 162-58.C(1) – It is noted that the reserved parking space area (plan west) would not be adequately lit in the event they are constructed in the future. Plan shall either provide lighting to accommodate the future illumination of this area or note that additional lighting will be provided in the event that the reserve spaces are constructed.
14. Section 162-58.C(4)(b) – Light poles shall be a minimum of five feet (5') outside paved area or on pedestals thirty inches (30") high above the pavement. It is noted that the Base Detail provide on sheet 19 of 20 is not legible and shall be revised to reflect the required pole location information. Pole locations shall also be revised as necessary in the plan view if necessary. It is noted that this review is not a structural review of the pole base footings.
15. Section 162-58.D(1)(a) – Site plan shall show all lighting including building and architectural lighting. The plan does not indicate any additional lighting beyond the proposed area lights. Applicant shall verify that no additional architectural lighting is proposed.

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**IV. STORMWATER MANAGEMENT ORDINANCE REVIEW**

1. The Applicant is proposing an underground infiltration bed, which discharges into an existing above ground basin on the adjacent lot, and an above ground infiltration basin to control post-development runoff.
2. Section 301.T - Disturbance of existing ground cover during construction of the proposed Regulated Activity is prohibited within seventy-five (75) feet of top-of-bank of all perennial and intermittent waterways, water bodies and wetlands. Show the 75-foot no disturbance setback on the plans. We note that disturbance, including a detention basin, is proposed within this setback.
3. We have performed a preliminary review of the stormwater management report and design and would like to meet with the applicants engineer to discuss. We will provide the technical comments we have generated to the applicant under separate cover.

**V. GENERAL COMMENTS**

1. A waiver request letter shall be provided, stating the reasons for each waiver request.
2. Revise the Cover Sheet title, as it references Lot 1C instead of 1A. Also revise the incorrect spelling of Preliminary in the title blocks.
3. Add the notation “Record Plan Sheet \_\_\_\_ of \_\_\_\_” on all sheets to be recorded.
4. We note that the Subdivision / Land Development Application indicates “Plan Dated December 1, 2022”; which is incorrect.
5. Revise General Note #16 on Sheet 2, as the submitted plans are the land development plans, and remove the duplicate Note #18.

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6. Relocate the Height Restrictions on Sheet 2 to be included in the Zoning Requirements Table.
7. Add the Parking Space Tabulation to the Record Plan, Sheet 2.
8. Add the General Note regarding retaining walls (on Sheet 5) to the Record Plan, Sheet 2.
9. The Easement Note #2 on Sheet 2 should be revised to be consistent with PCSWM Plan & NPDES Permit Notes #7.
10. The Plans should be reviewed by the Township Fire Marshall to ensure there is adequate access to the building.
11. Show yard setbacks on all proposed conditions plans.
12. Label DS1 and DS2 on Sheet 5.
13. Verify the shading for the spillway lining on Sheet 6, as the hatching used is SWM Basin Infiltration Area per the Legend. Also, Basin 200 is not shaded to indicated infiltration Area, which should also be clarified.
14. Revise the Street Sweeping label near the entrance drive from Arrowhead Drive on Sheet 6 as it indicates a grass area.
15. Provide a detail for SW203 on the PCSWM Plan, Sheet 7.
16. Verify the pipe size into SW202 on Infiltration Basin 200 OS Detail on Sheet 7; plan view shows 18-inches whereas elevations have 24-inches.
17. The Infiltration Basin 200 OS SW102 Detail (title) on Sheet 8 shall be verified, as this appears to be for Basin 100.
18. On Sheet 9, E&S Planning and Design Note #4 states two infiltration basins will reduce runoff rate and volume, whereas the List of Structural BMPs lists one infiltration basin. Verify that all the List of Structural BMPs match on different plan sheets.

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19. Provide an Existing Conditions / Demolition Plan, which is noted in Construction Sequence step #8 on Sheet 9.
20. On Sheets 9 and 10, specify “Design Engineer” in the 2<sup>nd</sup> paragraph last sentence of the Construction Sequence.
21. Add storm structure ID numbers and Basin IDs to Sheet 10 and show Basin 200.
22. Label and verify the clearance between the sanitary lateral and the storm pipe from Inlet SW202 on the profile.
23. Label the clearance between the sanitary lateral and storm pipe from DS1 on the profile.
24. SW202 has two INV Out labels on the profile on Sheet 13; revise accordingly. Also verify that the inverts and grate / rim match the Detail on Sheet 7.
25. Show the water line crossings on the SW205 to SW204 profile.
26. Add the sump elevation on the profile views to all inlets proposed to have an 18-inch sump.
27. Clarify how all roof runoff will be collected (i.e., whether underground roof drain piping is proposed; if so, show on the plans).
28. Three (3) light fixtures appear to be proposed directly adjacent to a proposed retaining wall (plan west). We question the constructability of these locations due to potential conflicts between light base footings, geogrid reinforcement, fencing and guardrail.
29. “Fixture Types” detail provided on Sheet 19 appears to be incorrect. Fixture types shall be revised to coordinate with the proposed design layout.

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**VI. TOWNSHIP TRAFFIC CONSULTANT**  
**MCMAHON ASSOCIATES, INC.**

1. Please provide additional information regarding the trip generation calculations for Lots 1B, 1C, 5, 10, and 11 shown in Table 2 of the traffic evaluation. The detailed supporting documentation referenced in the traffic evaluation is not attached to the letter report. In addition, please verify whether the trip generation calculation for Lot 1A should be revised to use the equation method.
2. The applicant previously prepared a master plan study for the development, entitled Eagleview Corporate Center "Master Plan" Traffic Impact Study (prepared by Traffic Planning and Design, Inc., dated October 13, 2005), which included the remaining potential build-out of Eagleview within Upper Uwchlan, which includes this parcel. The combination of the traffic generated by the currently developed portions of Eagleview within Upper Uwchlan Township, and the additional traffic to be generated by the proposed Lot 1A, is still less than the anticipated build-out traffic as presented in the master plan traffic study. Although it will not change this conclusion, if necessary, the trip generation comparison should be updated per comment 1.
3. ZO Section 200-73 – The proposed parking supply meets the Township's parking requirement for the proposed R and D use (182 spaces), and the plan proposes more parking (29 spaces) to be held in reserve if needed in the future. The proposed number of handicap spaces meets the requirement for the total parking supply with the reserve parking spaces.
4. ZO Section 200-75.H(3) – Please verify required sight distance calculation for traffic exiting the proposed access looking to the right along Arrowhead Drive. In addition, the plans should include a PennDOT-style sight distance note which states the required sight distances, as follows:

"All sight distance obstructions (including but not limited to embankments and vegetation) shall be removed by the permittee to provide a minimum of XXX sight distance to the left and XXX sight distance to the right for a driver exiting the proposed driveways onto the through highway. The

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driver must be considered to be positioned ten feet from the near edge of the closest highway through travel lane (from the curbline if curbing is present) at an eye height of three feet six inches (3' 6") above the pavement surface located in the center of the closest highway travel lane designated for use by approaching traffic. This sight distance shall be maintained by the permittee."

5. Verify the need for guiderail along the retaining wall alongside the reserve parking spaces. If needed, please add guiderail to the plan and clarify if the guiderail is proposed to be constructed immediately or upon future construction of the reserve parking spaces.
6. The applicant and the applicant's engineer are responsible to ensure that all pedestrian facilities within the site satisfy the applicable ADA requirements.
7. The Lot 1A development is subject to a transportation contribution equal to \$0.35 per square-foot of office space and \$0.20 per square-foot of warehouse space, and this contribution must be paid at the time of building permit issuance.

**VII. TOWNSHIP LAND PLANNER  
BRANDYWINE CONSERVANCY**

Comprehensive Plan (2014)

1. The proposed development is consistent with the vision of the Comprehensive Plan for the existing Eagleview Corporate Park. The subject property is located within the area identified as the "Suburban Employment" future land use category in the Comprehensive Plan. This category has been applied to those areas of the township that will play a major economic role in the future. Lands so designated house the township's employers or producers of significant goods and services and include vacant or underdeveloped lands determined to be appropriate for additional employment, institutional, and/or manufacturing uses. The land within this future designation includes the Eagleview Corporate Park,

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which is comprised of light industrial or office development and vacant land suitable for additional development. Recommendations for future development include public water, public or community sewage disposal systems, road improvements along the frontage and access, protection of existing natural and cultural resources on undeveloped sites, and innovative stormwater management, and buffering of adjoining properties with lesser intensive uses.

Additionally, the Comprehensive Plan is in support of the continued build-out of the Eagleview Corporate Center with the hope that new tenants offering employment opportunities draw heavily from Upper Uwchlan's highly skilled and educated work force.

Open Space, Recreation & Environmental Resources Plan (2009)

2. A portion of the property, specifically along the existing unnamed tributary to March Creek, is designated as protected land, and includes hydric soils and extensive woodlands. The Plan recommends strengthening safeguards for the Township's remaining woodlands, especially along sensitive and valuable streams in the Marsh Creek watershed. We recommend that the Township carefully considers applicant's waiver requests for woodland disturbance and woodlands replacement to ensure that the existing critical natural features continue to be preserved and protected in the future.
3. A portion of the property is located within the designated Jerry Run Greenway that is within the Marsh Creek watershed. The Plan recommends the application for new land development projects incorporate greenway corridors into the proposed layout, as appropriate. We recommend that the applicant includes the corridor into the layout to demonstrate the impact of development on those areas that contain natural resources.

Zoning Ordinance

4. We recommend that the applicant displays any pedestrian paths from the parking areas to adjacent street sidewalks if applicable (§200-73.B.3).

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5. The applicant depicted a designated open space on the site plan to be 0.68 acres or 5% of the total net tract area. However, we recommend that the site plan also includes details on how these areas will be landscaped and usable for any active and passive recreation (§200-50.C). Please be advised that §200-7 provides definitions for “active recreation” and “passive recreation”.
6. We recommend the applicant include the note describing ownership and maintenance responsibilities and/or potential dedication to the Township of designated open space on the site plan (§200-50.C).
7. We recommend that the applicant demonstrates on the site plan the means of pedestrian access to a designated open space.

Subdivision and Land Development Ordinance

8. We recommend that the applicant provide details on the trees with a diameter at breast height (dbh) of six inches or greater on the site plan to show compliance with §162-55.B.1 and §162-55.B.2.
9. The applicant proposes to disturb 6.25 acres of the existing 13.44 acres of woodland areas. Considering the extent of proposed disturbance and planning recommendations noted in previous comments above to limit disturbance of existing woodlands, we strongly encourage the Township to work with the applicant to comply with woodland replacement requirements as per §162-55.B.3 and relevant subsections. If the Township determines that it won't be appropriate, we recommend that the Township considers requiring the applicant to place the equivalent cash value as agreed upon by the Township and the applicant, of some or all of the required replacement trees into a special fund established for that purpose. Such funds can be utilized for the purchase and installation of trees elsewhere in the Township at the discretion of the Township, especially if the site in question cannot accommodate the replacement trees required pursuant to this chapter (§162-55.B.12).

Upper Uwchlan Township Manager

Reference: Eagleview Lot 1A –The Hankin Group  
Proposed Flex Use Building Development  
Preliminary Land Development Application  
Upper Uwchlan Township, Chester County, PA

File No. 03-0987.16

March 3, 2023

10. We recommend that the applicant provides additional details as required by §162-55.D.3 to address the long-term management provisions that will be established for any riparian buffer area.
11. We recommend that the Township verify that the applicant is compliant with §162-57 B, Landscape plan.

#### General Comments

1. The correct tax parcel for the property is 32-3-81.11 as per the Chester County Tax Records. We recommend the applicant review all submitted documents to ensure that the correct parcel number is referenced.
2. We recommend the applicant to be consistent with the proposed building description on the site plan and all supporting documentation.

#### **VIII. TOWNSHIP SEWER CONSULTANT COMMENTS** **ARRO CONSULTING, INC.**

1. The Applicant is proposing to construct a 60,600 square feet (SF) proposed flex building. In accordance with the Act 537 Plan, wastewater generated on this property is to be conveyed to and treated at the Eagleview Wastewater Treatment Plant which is located in Uwchlan Township. As such Uwchlan Township should have the opportunity to review since they will be responsible for wastewater conveyance and treatment.
2. All sanitary sewer improvements shall be design and constructed in accordance with the Uwchlan Township Municipal Authority Specifications.
3. A completed Sewage Facilities Planning Mailer has been provided, prior to completing Item 8d, the Uwchlan Township Municipal Authority shall provide a letter indicating that the facilities proposed for use have capacity and that no overload exists or is projected within 5 years.

Mr. Tony Scheivert  
Upper Uwchlan Township Manager

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Reference: Eagleview Lot 1A –The Hankin Group  
Proposed Flex Use Building Development  
Preliminary Land Development Application  
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File No. 03-0987.16

March 3, 2023

This concludes our review of the above-referenced application. We would recommend the plans be revised to address the above-referenced comments as well as any raised by the Planning Commission and the Board of Supervisors. If you have any questions, please do not hesitate to contact me.

Sincerely,

*David N. Leh*

David N. Leh, P.E.  
Vice President  
Gilmore & Associates, Inc.

cc: Upper Uwchlan Township Planning Commission Members  
Upper Uwchlan Township Board of Supervisors  
Gwen Jonik – Township Secretary  
Rhys Lloyd – Director of Code Enforcement  
Anthony Campbell – Zoning Officer  
Richard Ruth – Township Fire Marshall  
Kristin Camp, Esq. – Buckley, Brion, McGuire, & Morris LLP  
Rob Daniels, Brandywine Conservancy  
Christopher J. Williams, P.E., McMahon Associates, Inc.  
G. Mathew Brown, P.E., ARRO Consulting, Inc.  
David Schlott, P.E., ARRO Consulting, Inc.  
Neal Fisher, The Hankin Group, Owners/Applicant  
Richard F. Stratton, P.E., Chester Valley Engineers, Inc.



# THE COUNTY OF CHESTER



## COMMISSIONERS

Marian D. Moskowitz  
Josh Maxwell  
Michelle Kichline  
  
Brian N. O'Leary, AICP  
Executive Director

## PLANNING COMMISSION

Government Services Center, Suite 270  
601 Westtown Road  
P. O. Box 2747  
West Chester, PA 19380-0990  
(610) 344-6285      Fax (610) 344-6515

March 3, 2023

Gwen A. Jonik, Secretary  
Upper Uwchlan Township  
140 Pottstown Pike  
Chester Springs, 19425

Re:      Preliminary/Final Land Development - Eagleview Lot 1A for The Hankin Group  
#      Upper Uwchlan Township - LD-02-23-17559

Dear Ms. Jonik:

A preliminary/final land development plan entitled "Eagleview Lot 1A for The Hankin Group", prepared by Chester Valley Engineers and dated February 2, 2023, was received by this office on February 21, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed land development for your consideration.

## PROJECT SUMMARY:

Location:	South of the Pennsylvania Turnpike, east of Moore Road
Site Acreage:	13.65 acres
Units:	1 building
Non-Res. Square Footage:	60,600 square feet
Proposed Land Use:	Office/flex
New Parking Spaces:	210 spaces
Municipal Land Use Plan Designation:	Suburban Employment
UPI#:	32-03-81.13

## PROPOSAL:

The applicant proposes the construction of a 60,600 square foot office/flex building and 210 parking spaces, with 28 spaces to be held in reserve. The site, which will be served by public water and public sewer facilities is located in the Upper Uwchlan Township Planned Industrial Office zoning district.

**RECOMMENDATION:** The County Planning Commission recommends that the issues raised in this letter should be addressed and all Upper Uwchlan Township issues should be resolved before action is taken on this land development plan.

**COUNTY POLICY:**

**LANDSCAPES:**

1. The site is located within the **Suburban Center Landscape** designation of *Landscape3*, the 2018 County Comprehensive Plan. The vision for the **Suburban Center Landscape** is regional economic, population and transportation centers with varying land uses, accommodating substantial future growth of medium to high intensity. Repurposing obsolete structures and sites and encouraging sustainable development will be critical as suburban centers grow, and transportation infrastructure and amenities will need to expand to create an integrated multimodal network. The proposed land development is consistent with the objectives of the **Suburban Center Landscape**.



**WATERSHEDS:**

2. **Watersheds**, the water resources component of *Landscape3*, indicates the proposed development is located within the Brandywine Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are:

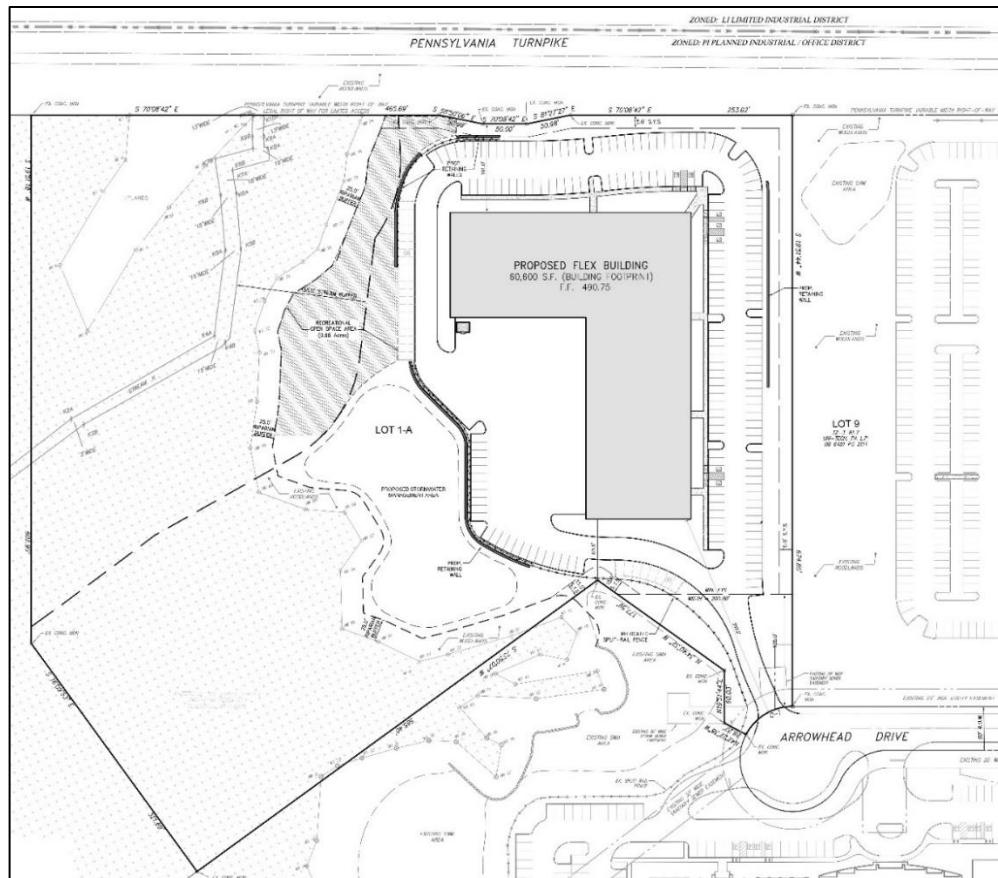
- reduce stormwater runoff,
- restore water quality of “impaired” streams, and
- protect vegetated riparian corridors.

*Watersheds* can be accessed at [www.chesco.org/water](http://www.chesco.org/water).

3. Land disturbance and land development activities that occur within Chester County must comply with the **County-wide Act 167 Stormwater Management Plan for Chester County, PA** (August 2022) and the associated Act 167 stormwater management ordinance standards adopted by each municipality.

### **PRIMARY ISSUES:**

4. **Landscapes3** recommends that developments in the **Suburban Center Landscape** include extensive landscaping in parking areas (page 37). The Township should verify that the proposed landscaping plan conforms to the Township's landscape and screening requirements. We suggest that the applicant consider maximizing the use of native tree, shrub, and herbaceous species in the planting areas.
5. The Township should ensure that this proposal provides for in-building coverage for public safety and emergency service radio communications. The applicant should contact the Chester County Department of Emergency Services Technical Division at 610-344-5000 for additional information on this issue. The Township Fire Marshal should also verify the design and location of all proposed fire-protection facilities.
6. The Act 247 form that was submitted with the land development identifies the lot as UPI# 32-03-81.13. The Township should verify the UPI number; the correct UPI appears to be 32-03-81.11.



***Detail of Eagleview Lot 1A for The Hankin Group  
Preliminary/Final Land Development Plan***

7. The proposed building includes large roof areas that may offer opportunities to improve the facility's long-term sustainability and reduce its reliance on energy from the grid, such as designs that incorporate "green roofs," "white roofs" and solar photovoltaic energy systems. Green roofs can reduce a building's stormwater runoff, improve insulation, increase the longevity of the roof system, and reduce heating and cooling costs. White roofs can help reflect solar radiation and also reduce cooling costs. Photovoltaic energy systems can improve the facility's long-term sustainability and reduce its reliance on energy from the grid. Additional information on green roofs is available at:  
<https://www.chescoplanning.org/MuniCorner/eTools/05-GreenRoofs.cfm>.  
Additional information on alternative energy systems such as photovoltaic systems is available at: <https://www.dvRPC.org/EnergyClimate/AEOWG/>.
8. The Township Engineer should review and comment on the traffic impact study that was submitted to the Township.
9. The applicant should demonstrate how snow disposal (or snow storage) will be handled for this development, such as designating snow disposal area(s) and a stormwater inlet in the snow disposal area to catch the melting water.
10. We recommend that sidewalks be provided to connect this site to the adjoining parcels. "Connect" Objective C of ***Landscapes3***, the 2018 County Comprehensive Plan, is to provide universally accessible sidewalks, trails, and public transit connections to create a continuous active transportation network within designated growth areas. Pedestrian connectivity between sidewalks and buildings is an important component of a complete sidewalk system in the **Suburban Center Landscape**. We also suggest that the applicant consider providing a driveway connection to the site to the east because this can improve overall circulation and make parcel deliveries among the sites more efficient.
11. The plan and 2022 aerial photography indicate that a portion of the site is wooded. Mature trees and shrubs reduce the volume and impacts of stormwater runoff by intercepting precipitation, increasing evapotranspiration, and stabilizing soil through root growth. The removal of trees should be limited to the minimum area needed for the building and support facilities. Orange construction fencing should be placed at the "limit of disturbance" to prevent unintended intrusion into woodland areas by construction equipment. This fencing should be placed at the drip line of any trees that are intended to remain to limit inadvertent impacts from construction equipment to root zones and long-term tree health. Additional native trees and shrubs should be incorporated into the landscaping plans to replace and mitigate the loss of removed trees.
12. We recommend that the applicant consider providing electric vehicle (EV) charging stations. The stations can be located nearest the building to reduce costs for extending electrical lines, or they can be located at light poles. The provision of charging stations for electric vehicles can help increase the marketability of the facility, and some facilities have offered charging stations near building entrances as site amenities. Charging stations can encourage the wider acceptance of electric vehicles. Additional information on this topic is provided in the County Planning Commission's Electric Vehicles eTool, which is available online at:  
<https://www.chescoplanning.org/MuniCorner/eTools/19-ev.cfm>.
13. The plan indicates that 28 of the required 210 parking spaces will be held in reserve. Reserving parking spaces in this manner can help to reduce initial construction costs, limit the creation of impervious surfaces, and increase opportunities for landscaping. We recommend that the applicant and the Township consider whether even more spaces can be reserved and landscaped.

14. The applicant should contact the Pennsylvania Turnpike Commission regarding the potential for future right-of-way requirements.
15. The applicant should elaborate on how access to the proposed Recreational Open Space Area will be provided. We suggest that the adjacent stormwater management area can serve as a passive recreational amenity if appropriate access is provided.
16. Sheet 2 of the plan includes two sets of zoning information for the PI Planned Industrial/Office District, and the Act 247f form that was submitted by the Township indicates that this site is located in the PCID zoning district; this should be clarified.

ADMINISTRATIVE ISSUES:

17. The applicant should contact the office of the Chester County Conservation District (telephone #610-455-1360) for information and clarification on erosion control measures. The provisions of the Commonwealth Erosion Control Regulations may apply to the project and may require an Earth Disturbance Permit or a National Pollutant Discharge Elimination System permit for discharge of stormwater from construction activities. Additional information on this topic is provided online at: <https://www.chesco.org/284/ErosionStormwater>.
18. A minimum of four copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, and the Assessment Office.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of Upper Uwchlan Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

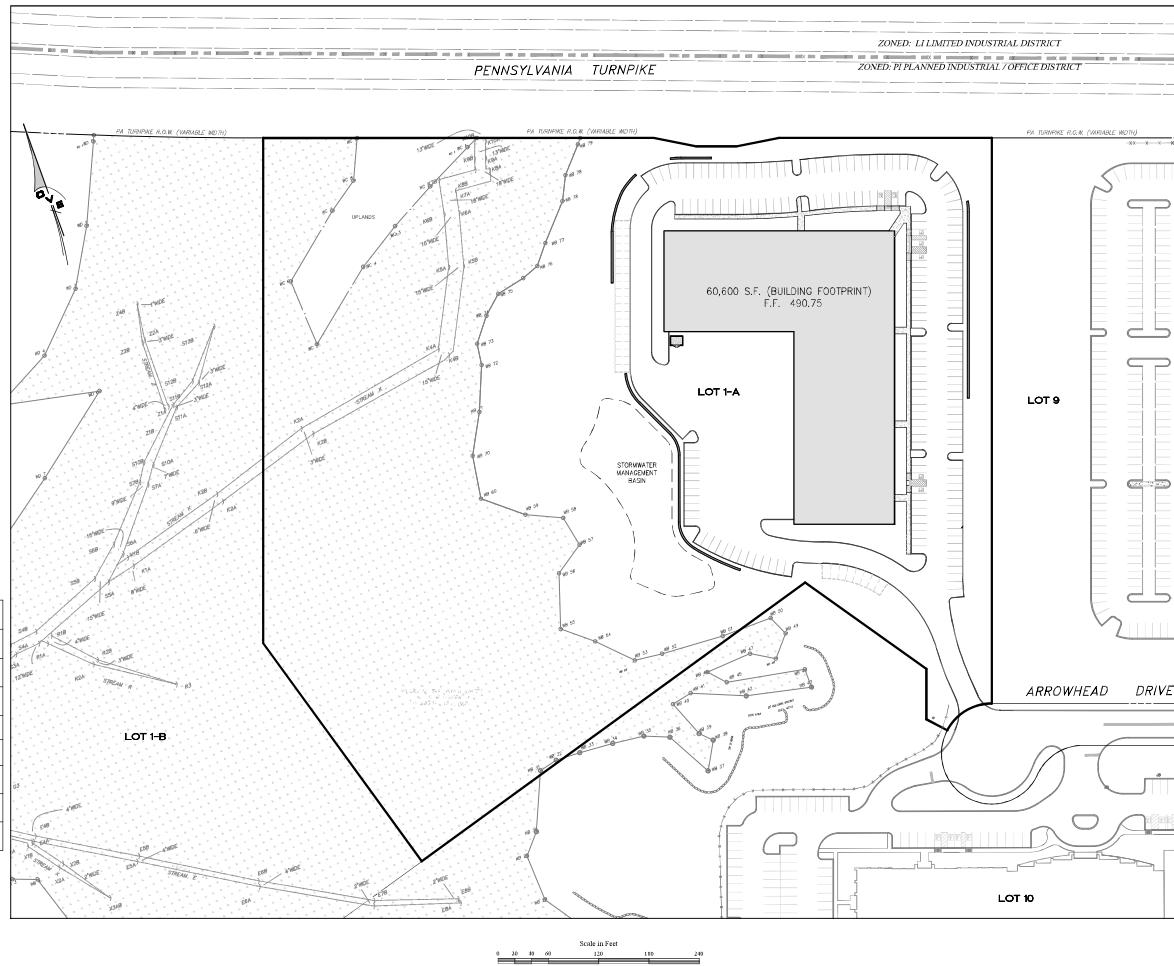
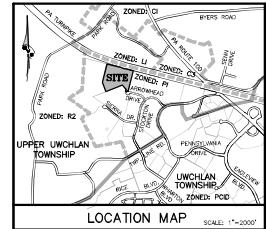
Sincerely,



Wes Bruckno, AICP  
Senior Review Planner

cc: Chester Valley Engineers  
The Hankin Group  
Pennsylvania Turnpike Commission  
Chester County Conservation District

FINAL LAND DEVELOPMENT PLAN  
FOR  
EAGLEVIEW LOT 1C  
UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA



UPPER UCHLICH TOWNSHIP ACT 181 FACILITIES OWNERS LIST	
ENERGY TRANSFER	CELESTE WATERFALL 1305 MAIN STREET, HUNTINGDON, PA 16652
UPPER UCHLICH TOWNSHIP	WATER, SEWER, 140 POTTSSTOWN PKWY UCHLICH, PA 16652
PEDCO	WATER, SEWER, 405 S HANOVER ROAD, SUITE B KING OF PRUSSIA, PA 19406
CONDUIT CABLE	1000 CONNEAUTVILLE BLVD. DOVER, PA 17322, PA 17335
GROWN CASTLE	WIFI, BROADBAND 196 VAN BUREN STREET, HENDERSON, NV 89014
AQUA, PA	THOMAS WADDY 7627 LANCASTER AVE. EMMETT, PA 17522
VERIZON	VICTOR WOOD 7050 WESTON PARKWAY, CAMP HILL, PA 17011
COLUMBIA GRS TRANSMISSION, ELLWOOD	TYLER WOODBINE FUND, 1476 PINEHORN ROAD, EDMONDON, KY 42342
	TYLER.WOODBINE@GRCENERGY.COM

- ONE CALL TELEPHONE NUMBER : 811 OR 1-800-242-1776
- POC'S SERIAL NUMBER: 20223651480

**GENERAL UTILITIES NOTES**  
1. BEFORE STARTING WORK, THE CONTRACTOR WILL NOTIFY ALL UTILITY COMPANIES

1. BEFORE STARTING WORK, THE CONTRACTOR WILL NOTIFY ALL UTILITY COMPANIES AND OTHER INTERESTED PARTIES OF THE SCHEDULE AND STARTING DATE. DETOURS MUST BE PLANNED AND MARKED BY THE CONTRACTOR, AND THE UTILITIES PROTECTED AS REQUIRED BY THE UTILITY COMPANY.

2. EXISTING UTILITIES SHOWN TAKEN FROM UTILITIES MARKOUT AND UTILITIES RECORD PLANS. ACTUAL LOCATIONS OF UTILITIES MAY VARY FROM THAT WHICH IS SHOWN ON THE PLANS. THE CONTRACTOR WILL FIELD VERIFY THE EXACT LOCATIONS OF UTILITIES PRIOR TO STARTING WORK.
3. THE FOLLOWING IS A LIST OF KNOWN UTILITIES IN VICINITY OF THE PROJECT AREA

3. THE FOLLOWING IS A LIST OF KNOWN UTILITIES IN VICINITY OF THE PROJECT AREA PERTAINING TO ACT #38. THE CONTRACTOR WILL VERIFY IF ANY OTHER UTILITIES EXIST WITHIN THE PROJECT LIMITS.

OWNER / APPLICANT

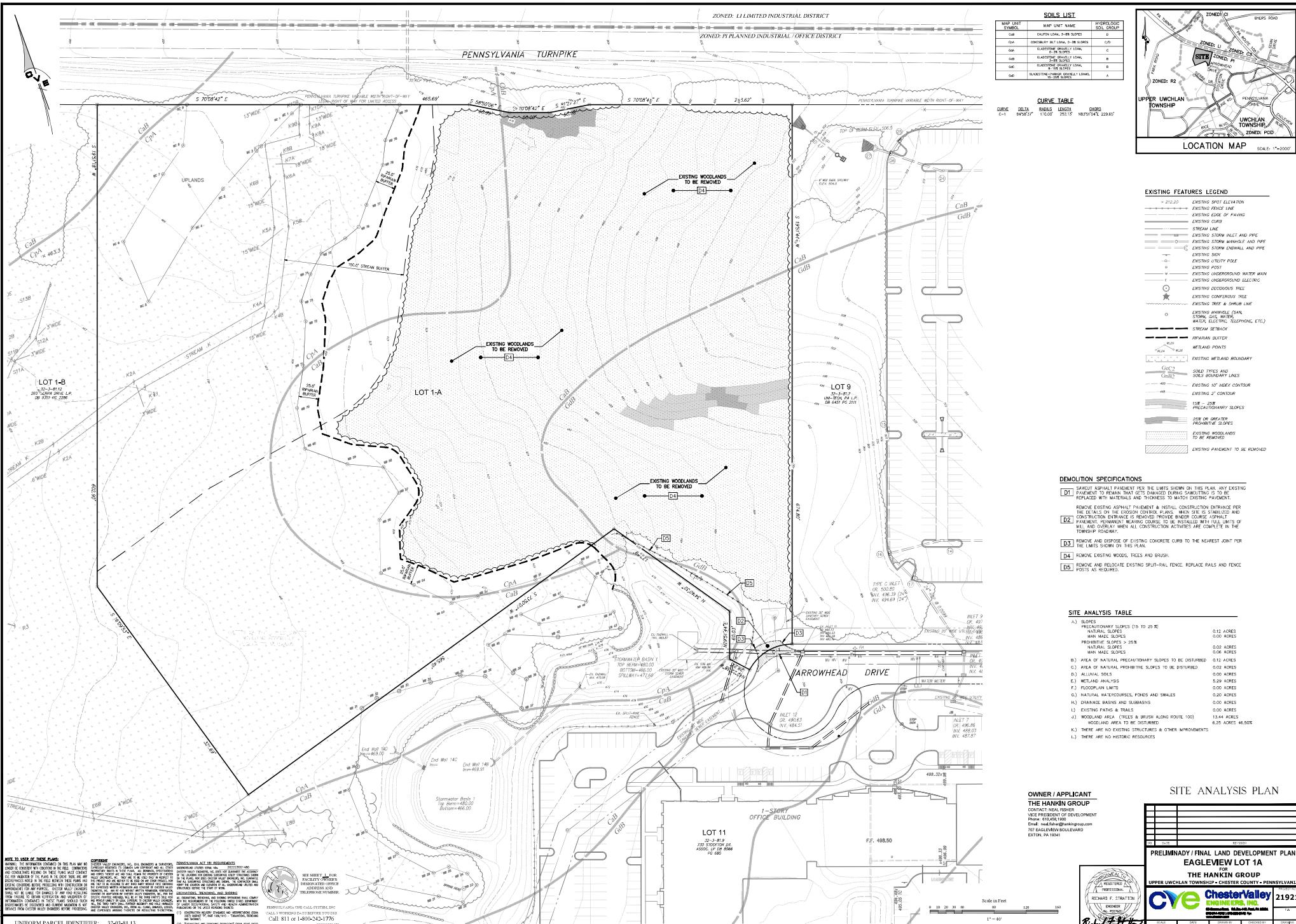
**OWNER/APPLICANT**  
**THE HANKIN GROUP**  
CONTACT: NEAL FISHER  
VICE PRESIDENT OF DEVELOPMENT  
Phone: 610.458.1800  
Email: [neal\\_fisher@hankingroup.com](mailto:neal_fisher@hankingroup.com)  
707 EAGLEVILLE BOULEVARD  
EXTON, PA 19341

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN  
**EAGLEVIEW LOT 1A**  
FOR  
**THE HANKIN GROUP**  
UPPER UWCHLAN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**CVE** Chester Engineers, Inc.  
21921  
P.O. Box 440, West Seneca, NY 14224-4401  
(716) 675-0400 | (800) 442-0400 Fax

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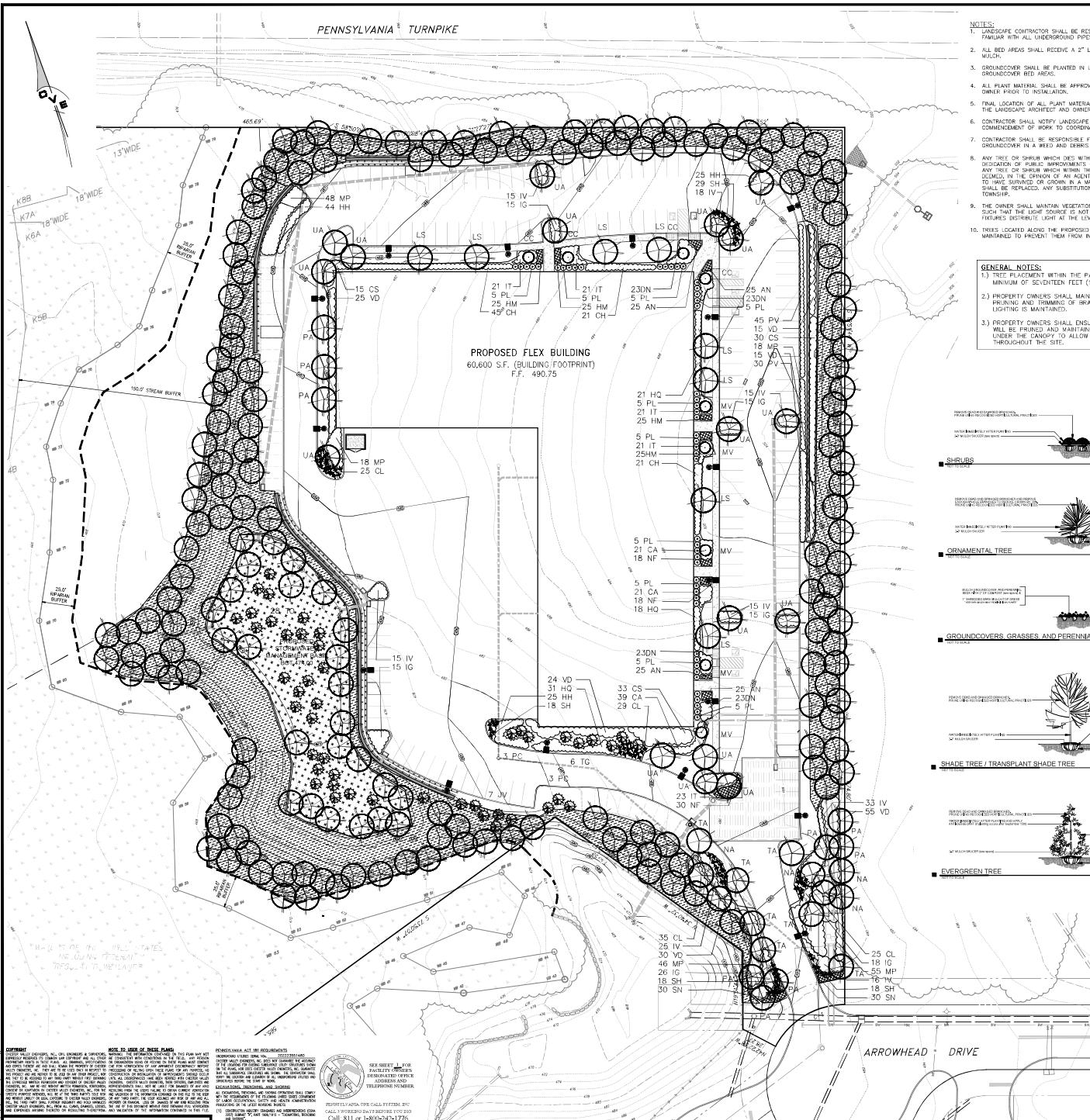
Digitized by srujanika@gmail.com

**OWNER / APPLICANT**  
**THE HANKIN GROUP**  
CONTACT: NEAL FISHER  
VICE PRESIDENT OF DEVELOPMENT  
Phone: 610.458.1200  
Email: [neal.fisher@hankingroup.com](mailto:neal.fisher@hankingroup.com)  
707 EAGLEVIEW BOULEVARD  
FORT COLLINS, CO 80525









PLANT LIST - Upper Uwhclan Township - Lot 1A

ITEM #	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
SHADE TREES				
8	8	Liquidambar styraciflua	Slender Silhouette	Slender Silhouette Sweetgum
PA	8	Nyssa sylvatica	Blot Gum	3'-3 1/2' col.
PA	7	Platanus x acerifolia	London Plane Tree	3'-3 1/2' col.
UA	7	Tilia cordata	Anglo-Indian	3'-3 1/2' col.
UA	7	Ulmus x species "Accolade"	Accolade Elm	3'-3 1/2' col.

SHADE TREES LOCATED ON SLOPED HATCHED NATIVE AREAS (dashed hatch- Ernst Over Resident Meadow Mix ENRMX 15546 2005(Acre))					
20%	30	<i>Platynus acerifolia</i>	Lonicera Plant	2 1/2"- 3" col.	
20%	30	<i>Quercus alba</i>	White Oak	2 1/2"- 3" col.	
20%	30	<i>Quercus coccinea</i>	Bur Oak	2 1/2"- 3" col.	
20%	31	<i>Quercus rubra</i>	Red Oak	2 1/2"- 3" col.	
20%	30	<i>Tilia americana</i>	American Basswood	2 1/2"- 3" col.	

ORNAMENTAL TREES				
CC	4	<i>Cercis canadensis</i>	Redbud, multi-stem	8'-10' High
MV	5	<i>Magnolia virginiana</i>	Sweetbay magnolia, multi-stem	8'-10' high

NAME	9	
GRAND TOTAL	242	
EVERGREEN TREES		
JV	7	Juniperus virginiana
PC	6	Picea abies
TC	4	Thuya x 'Green Giant'
		Eastern Red Cedar
		Juniperus
		Green Giant Arborvitae
		7'-8' High
		7'-8' High
		7'-8' High

SHRUBS				
CA	81	<i>Clethra alnifolia</i> 'Sister Cordies'	Sister cordies sunburned	18'-24'
CH	87	<i>Cephaelis hirtiflora</i> 'Prestrati'	Spreading-Japanease plum myrt	18'-24'
CS	13	<i>Comis sericea</i> 'AFI Fire'	Hardy diagnostic Alfie fire	24'-30'
DN	70	<i>Dodonaea viscosa</i>	Dwarf dogwood	18'-24'
HH	94	<i>Hamelia Hidcote'</i>	Hidcote St. John's wort	18'-24'
HQ	70	<i>Hydrangea paniculata</i> 'Pee Wee'	Fee Wee oakleaf hydrangea	18'-24'

107	<i>Rea virgatina</i> 'Redy Gomec	Henry's Garnet sweetpea	18"-24"
IV	132	<i>Rea virgatina</i> 'Red Spire'	Dedalus red spire (maleless)
MP	50	<i>Mirabilis jalapa</i>	24"-30"
PL	50	<i>Phlox lanuginosa</i> 'Otto Lukens'	Otto Lukens Cherry Laurel
VD	164	<i>Vitis vinifera</i> 'dianthus'	Arrowwood
<b>Total</b>		<b>1264</b>	
			HH
<b>ORNAMENTAL GRASSES</b>			

PV	75	<i>Panicum flexuosa</i>	Shredded switchgrass	3 gal.
SH	83	<i>Sporobolus heterolepis</i>	Peat dropped	1 gal.
SM	972			
<b>PERSONALS</b>				
AN	100	<i>Aster 'Purple Dome'</i>	Purple Dome Aster	1 gal.
HM	100	<i>Heuchera macroura</i> 'Autumn Bridge'	Autumn Bridge Coralbell	1 gal.
NF	66	<i>Nepea x faassenii</i> 'Purpurea Blue'	Catmint Purpurea Blue	1 gal.

Total 326

**Upper Uwhiian Township Landscape Ordinance Required Landscape Plantings**

<b>Street Trees</b>		
1/2001	45 ft	2
 <b>Building, Grass</b>		
2/1,000ft Shrub Tree	60,000sf	120
1/1,000sf Evergreen Tree	60,000sf	60
8/1,000sf Shrub	60,000sf	480

1/8 inches	100' spacing + 20' reserve = 204	82
1/2 inches	100' spacing + 20' reserve = 204	53
1/2 inches	100' spacing + 20' reserve = 204	33
4/0 foot	100' spacing + 20' reserve = 204	211

Feasibility	Required	Plan	Overage/ Deficiency
1/1000 Shade tree	2,431#	25	
2/1000 Evergreen tree	2,431#	50	
8/1000 Shrubs	2,431#	200	
<b>GRAND TOTAL</b>	<b>REQUIRED</b>	<b>PLAN</b>	<b>-38</b>
SHADE TREES	300	262	

LANDSCAPING, AS INDICATED ON THIS  
PLAN, WAS DESIGNED BY:  
**FARINA I LANDSCAPE ARCHITECTURE**  
46 Bridge Street  
Telephone 51-1221

The seal of the Commonwealth of Pennsylvania, featuring a central shield with a plow, a sheaf of wheat, and a sheaf of corn, surrounded by a circular border with the words "THE GREAT SEAL OF THE COMMONWEALTH OF PENNSYLVANIA" and the date "1790".



**OWNER / APPLICANT**  
**THE HANKIN GROUP**  
CONTACT: NEAL FISHER  
VICE PRESIDENT OF DEVELOPMENT  
Phone: 810.458.1900  
Email: [neal.fisher@hankingroup.com](mailto:neal.fisher@hankingroup.com)  
707 EAGLEVIEW BOULEVARD

LANDSCAPE PLANNING

# 12/9/2022

## § 77-3 Permitted and prohibited district uses.

**Solar** energy systems, wind energy systems and geothermal energy systems shall be an allowed accessory use in all districts, and no deed restriction or covenant prohibiting use shall be implemented or enforceable, except where specifically prohibited in this section.

**A.**

**Solar** and wind energy systems are specifically prohibited in:

(1) All areas designated as public open space, whether general public or homeowners' association, or as specified in the

Comprehensive Plan, or thru third party conservation or agricultural preservation easements.

(2) Wastewater reclamation areas.

(3) Greenways, as designated in the Comprehensive Plan.

(4) Riparian buffer areas.

**B.** Wind energy systems are specifically prohibited in:

(1) C-1 Village District, and designated historical districts, and executed overlay areas.

(2) Wind energy systems shall be allowed in Commercial, Limited Industrial, R-1, R-2, R-3 and R-4 Districts as an accessory use following conditional use approval and subject to the criteria in § 77-7, Wind energy systems, of this chapter.

**C.** Geothermal systems are specifically prohibited in:

(1) C-1 Village District and, designated historical districts and executed overlay areas.

**§ 77-5 General provisions.**

A. Alternative energy systems shall provide power for the principal use on the property whereon the system is located and limited by design to 125% of the historical peak power usage of the property, or 50 kWe, whichever is less, not including Electric Vehicle charging capacity. Alternative energy systems shall not be for the principal use of generation of power for commercial purposes.

D. Systems may be installed in the side yard or rear yard on the property as defined in Chapter 200, Zoning, of the Upper Uwchlan Code. Solar systems may be installed on the front yard facing roof.

UPPER UWCHLAN TOWNSHIP  
CHESTER COUNTY, PENNSYLVANIA

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF UPPER UWCHLAN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, AMENDING CHAPTER 71 OF THE UPPER UWCHLAN TOWNSHIP CODE, AS AMENDED, TITLED "CONSTRUCTION CODES, UNIFORM" TO ADD A VIOLATION AND PENALTY SECTION.

NOW THEREFORE BE IT ENACTED AND ORDAINED by the Board of Supervisors of Upper Uwchlan Township, Chester County, Pennsylvania, as follows:

**SECTION 1.** Chapter 71 of the Upper Uwchlan Township Code, titled, "Construction Code, Uniform" shall be amended to add a new Section 71-8 titled "Violations and penalties" which shall provide as follows:

**“§71-8. Violations and penalties.** Any person violating any of the provisions of this chapter shall, upon conviction thereof, be sentenced to pay a fine of not more than \$1,000, together with costs of prosecution, and in default of such fine and costs to imprisonment for a period not exceeding 30 days. Each day's continuance of a violation after notification shall constitute a separate offense.”

**SECTION 2. Severability.** If any sentence, clause, section, or part of this Ordinance is for any reason found to be unconstitutional, illegal or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections, or parts hereof. It is hereby declared as the intent of the Board of Supervisors that this Ordinance would have been adopted had such unconstitutional, illegal or invalid sentence, clause, section or part thereof not been included herein.

**SECTION 3. Repealer.** All ordinances or parts of ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

**SECTION 4. Effective Date.** This Ordinance shall become effective in five days from the date of adoption.

ENACTED AND ORDAINED this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

ATTEST:

UPPER UWCHLAN TOWNSHIP  
BOARD OF SUPERVISORS

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Gwen A. Jonik, Secretary

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Sandy M. D'Amico, Chair

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Jenn F. Baxter, Vice-Chair

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Andy Durkin, Member



## UPPER UWCHLAN TOWNSHIP

Planning Commission Meeting

February 9, 2023

6:00 p.m. Comprehensive Plan Update ~ Kick-Off,

7:00 p.m. Meeting

Minutes

**Draft**

LOCATION: Township Building Conference Room, 140 Pottstown Pike, Chester Springs PA 19425

6:00 p.m. Comprehensive Plan Workshop Attendees:

Sally Winterton, Planning Commission Chair;

Joe Stoyack, Planning Commission Vice-Chair;

Planning Commission Members: David Colajezzi, Jim Dewees, Stephen Fean

Neil Phillips, Environmental Advisory Council Chair

Byron Nickerson, Emergency Management Coordinator, Emergency Management Planning  
Commission Chair

Sushila Subramanian, Park & Recreation Board Chair

Jenn Baxter, Township Supervisors' Vice-Chair

Gerry Stein, Historical Commission Member

Gwen Jonik, Township Secretary

Brandywine Conservancy:

Grant DeCosta, Director of Community Services

Mila Carter, Senior Planner

Olivia Falcone, Assistant Planner

Sarah Sharpe, Lead Planner

### 6:00 p.m. Comprehensive Plan Update ~ Kick-Off Workshop

Sally Winterton called the Workshop to order at 6:00 p.m., asked the attendees to introduce themselves and to share what Upper Uwchlan Township means to them; what thoughts come to mind when they think about the Township. Key words from their responses were gathered: home (several times), family, village, quality of life, balanced (several times), community, safety, geography, historic character, Marsh Creek Lake and Park, connected, in transition, potential.

Mila Carter distributed a summary of the Municipalities Planning Code (MPC) requirements for Comprehensive Plans (CompPlan), the main steps of the Comp Plan: establish public planning processes, collect input from others, provide a vision for the next 10 years, and develop implementation tasks toward the vision. The current CompPlan (2014) will be reviewed; population, land use, mapping will be analyzed toward developing goals and objectives. The CompPlan is a guiding document, not a policy document. Once an updated CompPlan is drafted, Township residents, adjacent municipalities, the school district, and the County Planning Commission are invited to review the document and provide comments prior to a public hearing when the Board of Supervisors may adopt the Plan.

The next meeting of the CompPlan Task Force will be Wednesday, March 8, 2023, 7:00-9:00 p.m. The attendees were asked to think about questions for a public survey and to review the current vision and objectives.

The Comprehensive Plan Update Kick-Off Workshop was adjourned at 7:03 p.m.

## 7:00 p.m. Planning Commission Meeting

### Attendees:

Sally Winterton, Chair; Joe Stoyack, Vice-Chair; David Colajezzi, Jim Dewees, Stephen Fean, Ravi Mayreddy, Jeff Smith

Mary Lou Lowrie, P.E., Gilmore & Associates  
Gwen Jonik, Planning Commission Secretary

Sally Winterton called the meeting to order at 7:09 p.m. and requested the agenda order be altered so that Eagleview Corporate Center Lot 1A will go before Eagle Animal Hospital. Jeff Smith moved, seconded by Jim Dewees, to alter the agenda as requested. The motion carried unanimously.

### Eagleview Corporate Center Lot 1A

Neal Fisher presented a Preliminary/Final Land Development Plan for a 60,000+ SF research and development building on Eagleview Corporate Center Lot 1A, which is adjacent to the Turnpike. The 20-acre site will be accessed from Arrowhead Drive, parking in the front, loading in the rear, hopefully a research and development facility. There was brief conversation related to the trail from Hickory Park into Eagleview and a trail signage program.

Jeff Smith moved, seconded by Jim Dewees, to accept the Plan for consultants' review. The motion carried unanimously.

### Eagle Animal Hospital Land Development Plan

Bob Linn and Adam Powell, of Linn Architects, and Dr. Dave Matunis were present to discuss the consultants' County Planning Commission's, and Historical Commission's review letters.

Mr. Linn distributed folders with pictures of the existing animal hospital and outbuildings. The 1.34-acre property is zoned C1 Village Commercial, contains an historic resource circa 1892, the driveway wraps around the 3,200 SF building, vinyl siding, the veterinarians bought it 14 years ago and it was an animal hospital 16 years prior to that. The existing building needs work and they thought of demolishing it but decided to build an addition to the rear of the 1970s 'garage', honoring the history. They propose removing 3 of the 4 outbuildings due to their deteriorated condition. The greenhouse is in bad shape, the shed has failed, the privy (3-seater) and a smaller shed to the front will be kept. Mr. Linn noted none of the outbuildings are in the footprint of the addition and the greenhouse isn't an historic structure. The failing wall on the front shed will be removed and the shed stabilized. Hours of operation will be till 5:00 p.m. or 7:00 p.m. depending on the weeknight and until noon on Saturdays. They see approximately 980 patients/month with 2 doctors and 6-8 staff. There are 2 small exam rooms, which will become staff office space, the addition will have 4 exam rooms and a small surgical area, they plan to add a doctor and 2 staff. They can comply with the comments regarding zoning, storm water management and Gilmore's "general" comments.

Items to discuss include the traffic impact study, which they'd like to discuss with McMahon Associates, they'll be back with subdivision/land development waivers, they'll do an historic resource impact statement, they need to discuss sidewalks and right-of-way as there isn't much room between the roadway and the front door of the building and there is at least 1 very large evergreen tree on the property line. Maybe an asphalt trail meandering through? Perhaps they could pay a fee in lieu of installing sidewalk. Having to do a PennDot study, since Byers Road is a state road, would be financially burdensome. The traffic impact fee also needs further discussion as it could be financially burdensome. They may ask for a waiver from that fee. Brandywine Conservancy's comment regarding installing a 4' bike lane is unrealistic.

Mr. Linn advised they have no problems following the Village Design Guidelines for lighting and landscaping. They're adding 8 parking spaces, adding a few lights and a hedge to help hide the parking lot and headlights.

Regarding the Historical Commission's review, they plan to remove the metal roof of the shed and the privy seems to be just 3 walls and a roof. It will remain on the site and be stabilized for safety. Commission members commented that they should meet with the Historical Commission to discuss the impact statement and condition of the outbuildings and that we need to work with businesses like this, so they'll remain here, be viable, and retain the village atmosphere. Mr. Linn will have their traffic engineer speak with McMahon Associates and will speak with the Township Manager regarding sidewalks on Byers Road in relation to the Active Transportation Plan.

#### Approval of Minutes

Jim Dewees moved, seconded by David Colajezzi, to approve as presented the minutes of the January 12, 2023 Planning Commission meeting. The motion carried unanimously.

Sally Winterton announced the next scheduled meeting is March 9, 2023.

#### Meeting Updates/Reports

Environmental Advisory Council (EAC). Jeff Smith reported the EAC is discussing sponsoring maintaining an "Adopt A Road" type program for State Roads. They're checking out the process and would initially propose 2 times/year on Route 100 around Fellowship Road. They're working on the 2023 Earth Day celebration and discussing a farmers' market at Upland Farm Park in the future.

Historical Commission (HC). David Colajezzi attended the February 6 meeting where the Eagle Animal Hospital was the main topic. Also discussed was the Struble Trail extension, the Dorlan Mill miller's house, and the Fetters farmhouse renovation.

Active Transportation Plan (ATP). Steve Fean attended the February 7 meeting. The ATP reviewed early results from the public survey (242 responses); areas where fairly immediate changes can be made on either land that the Township owns or that we could quickly get buy-in from the owners. Trails/sidewalks along Milford Road and Byers Road are 2 areas of interest.

Steve Egnaczyk, Stonehedge resident, commented that the Township needs to decide once and for all if we want sidewalks in Byers Village, or not.

There was more conversation about sidewalks in Byers Village. If the Township wants sidewalks, the Township should pay for them, not the small business owners. The Commission members decided they'll walk Byers Village together.

#### Historic Resource Protection Plan (HRPP)

The Commission reviewed the October 2022 draft HRPP. Jim Dewees made comment that there are a lot of details that need thorough discussion before approval of the Plan. Members were asked to review the HRPP and send their comments to Gwen Jonik to compile and provide to the Historical Commission. Joe Stoyack suggests it contain a narrative of why it's important to maintain historic properties, which will lead into the HRPP and the recommendations. The HC has suggested the HRPP become a standalone chapter on historic protection in the Comprehensive Plan and the Planning Commission agrees with that – begin with an introduction/narrative, followed by the HRPP.

Sally Winterton suggested the Planning Commission meet 2x per month: a 6:00 p.m. zoning workshop and 7:00 p.m. regular meeting, and the Comprehensive Plan task force on a separate night.

#### Open Session

Joe Stoyack made comment on solar energy, ensuring HOAs and residents can access solar energy, can't be restricted or prohibited. There are 2 bills being discussed in Pennsylvania: SB 826 and HB 1996. We can revise our Alternative Energy ordinance to reflect the changes at the State level.

Joe Stoyack made comment that our Comprehensive Plan (CompPlan) should be consistent with the County's CompPlan, Landscapes 3. We don't have to comply with it but we do need to look for consistencies.

Gerry Stein, Greenridge Road resident, asked the County Planning Commission about their identification of Upper Uwchlan as a "suburban center". They advised that we have the turnpike running through the Township, as well as Route 100, little developable land left, and by their metrics, we are a suburban center.

Adjournment

Jim Dewees moved, seconded by Jeff Smith, to adjourn at 9:07 p.m. All were in favor.

Respectfully submitted,

Gwen Jonik,  
Planning Commission Secretary